

Governmental Agencies

BUILDING DEPARTMENT

NEW HANOVER COUNTY
BUILDING SAFETY DEPARTMENT
230 GOVERNMENT CENTER DRIVE, SUITE 170
WILMINGTON, NC 28403
PHONE: (910) 798-7308

HEALTH DEPARTMENT

NEW HANOVER COUNTY
ENVIRONMENTAL HEALTH DEPARTMENT
230 GOVERNMENT CENTER DRIVE, SUITE 140
WILMINGTON, NC 28403
PHONE: (910) 798-6667

FIRE DEPARTMENT

NEW HANOVER COUNTY
FIRE RESCUE DEPARTMENT
230 GOVERNMENT CENTER DRIVE, SUITE 130
WILMINGTON, NC 28403
PHONE: (910) 798-7420

Building Codes

-BUILDING CODE: 2018 NORTH CAROLINA BUILDING CODE
-PLUMBING CODE: 2018 NORTH CAROLINA PLUMBING CODE
-MECHANICAL CODE: 2018 NORTH CAROLINA MECHANICAL CODE
-ELECTRICAL CODE: 2017 NORTH CAROLINA ELECTRICAL CODE
-FUEL GAS CODE: 2018 NORTH CAROLINA FUEL GAS CODE
-ENERGY CODE: 2018 NORTH CAROLINA ENERGY CONSERVATION CODE
-FIRE CODE: 2018 NORTH CAROLINA FIRE CODE
ACCESSIBILITY CODE: 2018 NORTH CAROLINA STATE ACCESSIBILITY CODE

Building Data

OCCUPANCY CLASSIFICATION: A-2 (EXISTING- UNCHANGED)
CONSTRUCTION TYPE: V-B (EXISTING- UNCHANGED)
SPRINKLERS: NO
STANDPIPES: NO
FIRE DISTRICT: NO
BLDG. HEIGHT IN FEET: 21'-0" AVERAGE
BLDG. HEIGHT IN STORIES: 1

AREA CALCULATION

EXISTING AREA: 3,930 S.F. (CONDITIONED AREA)
ADDITION: 380 S.F. (CONDITIONED AREA)
4,310 S.F.

OCCUPANT LOAD:

SERVING:	1200 SF NET	331 SF =	2 (EXISTING - UNCHANGED)
KITCHEN:	1200 SF NET	1,068 SF =	5 (EXISTING - UNCHANGED)
OFFICE:	1100 SF NET	62 SF =	1 (EXISTING - UNCHANGED)
ORDER:	17 SF NET	279 SF =	40 (EXISTING - UNCHANGED)
DINING:	115 SF NET	1,139 SF =	104 SEATS (EXISTING - UNCHANGED)
ENTRY "A":		68 SF =	- (EXISTING - UNCHANGED)
ENTRY "B":		47 SF =	- (EXISTING - UNCHANGED)
RESTROOMS:	1 FIXTURE	301 SF =	8 (EXISTING - UNCHANGED)
SERVICE AREA:	1200 SF NET	274 SF =	2 (ADDITION - CONDITIONED)
OVERALL:			= 162

PLUMBING FIXTURES:

WATER CLOSETS: 4
URINALS: 2
LAVATORIES: 2

EXIT WIDTH REQUIRED BY CODE = 32'

EXIT WIDTH PROVIDED:

SERVICE YARD DOOR:	48' (NEW)
ENTRY A EXTERIOR DOOR:	72' (EXISTING- UNCHANGED)
ENTRY B EXTERIOR DOOR:	36' (EXISTING- UNCHANGED)
TOTAL:	156' (EXISTING- UNCHANGED)

LIFE SAFETY SYSTEM REQUIREMENTS:

EMERGENCY LIGHTING: YES
EXIT SIGNS: YES
FIRE ALARM: NO
SMOKE DETECTION SYSTEM: NO
PANIC HARDWARE: YES

Architectural & Structural:

HILL FOLEY ROSSI & ASSOCIATES, LLC
3680 PLEASANT HILL ROAD
SUITE 200
DULUTH, GA 30096
PHONE: (770) 622-9858
FAX: (770) 622-9535
CONTACT: JILL NOBLES

Mechanical, Plumbing & Electrical

KURZYNSKE & ASSOCIATES
825 THIRD AVENUE SOUTH
NASHVILLE, TN 37210
PHONE: (615) 255-5203
FAX: (615) 255-5207
CONTACT: DAVE BOWLING
BRENT FERRELL

Kitchen Equipment Consultant:

TRIMARK STRATEGIC EQUIPMENT
3011 INDUSTRIAL PARKWAY EAST
KNOXVILLE, TN 37921
PHONE: (865) 293-4915
FAX: (865) 522-4448
CONTACT: JENNIFER SHAW

Civil Engineer:

HILL FOLEY ROSSI & ASSOCIATES, LLC
3680 PLEASANT HILL ROAD
SUITE 200
DULUTH, GA 30096
PHONE: (770) 622-9858
FAX: (770) 622-9535
CONTACT: CASEY DURDEN



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

SERIES 97-110
OLEANDER FSU
STORE #01425

3389 OLEANDER DRIVE
WILMINGTON, NC 28403

BRAND IMAGE REMODEL
MID-LINE KITCHEN REMODEL
SERVICE AREA ADDITION
MULTI-LANE ORDER POINT

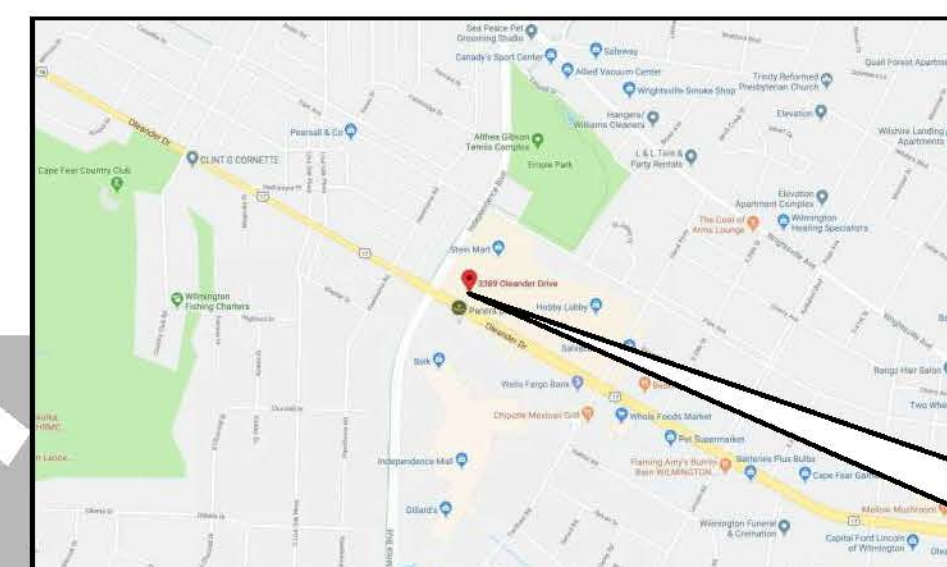
DRIVE-THRU FACE-TO-FACE CANOPY: TIER 3

R&M ITEMS:

- TOTAL MILL / PAVE PARKING LOT
- REPLACE SITE CONCRETE, CURBS, SIDEWALKS AND RAMPS AGAINST THE BUILDING THAT WILL NOT BE REPLACED AS PART OF RE BUDGET
- REPLACE ENTIRE CONCRETE PAD IN FRONT OF TRASH ENCLOSURE
- REPLACE EXISTING HAND RAILS NOT INCLUDED IN RE
- REPLACE ROOF TOP HVAC UNITS THAT ARE ORIGINAL AND NOT BEING REPLACED BY RE (MOST HAVE BEEN REPLACED WITH TRANE UNITS)
- REPLACE ROOF TOP EXHAUST FANS THAT ARE ORIGINAL AND NOT BEING REPLACED BY RE
- REPLACE AIR CURTAINS IF ORIGINAL AND NOT BEING REPLACED BY RE
- UPGRADE LOT LIGHT HEADS TO NEW LED HEADS IF NOT ALREADY LED
- ROOF OVERLAY REPLACEMENT



EXISTING

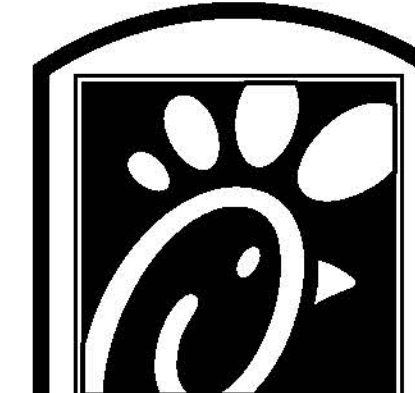


VICINITY MAP

NOT TO SCALE

Drawing Index

	PERMIT: 8/12/19	REV #:	BID:	C.S.D.:
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C-0.0 COVER SHEET				
C-1.1 AS-BUILT SURVEY BY MSP				
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C-2.0 SITE PLAN				
C-3.0 GRADING & UTILITY PLAN				
C-4.0 CHICK-FIL-A DETAILS				
C-4.1 CHICK-FIL-A DETAILS				
C-4.2 CHICK-FIL-A DETAILS				
L-100 LANDSCAPE PLAN BY MANLEY LAND DESIGN				



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

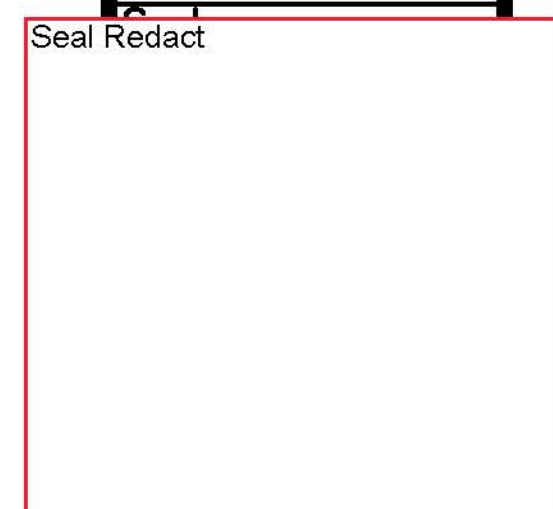
Revisions:

Mark Date By
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Mark Date By
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CITY SITE APPROVAL

Mark Date By
△



ARCHITECTURE
ENGINEERING
3680 Pleasant Hill Road
Suite 200
Duluth, Georgia 30096
P 770.622.9858
F 770.622.9535
www.hillfoleyrossi.com

STORE
Oleander FSU
FSR #1425
3389 Oleander Drive
Wilmington, NC
28403

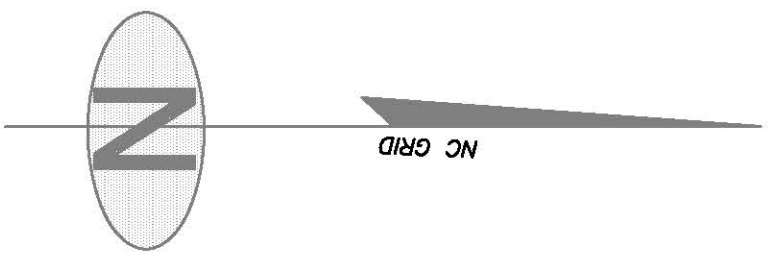
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COVER
SHEET

DWG EDITION S97-110
REVISION 04/2017

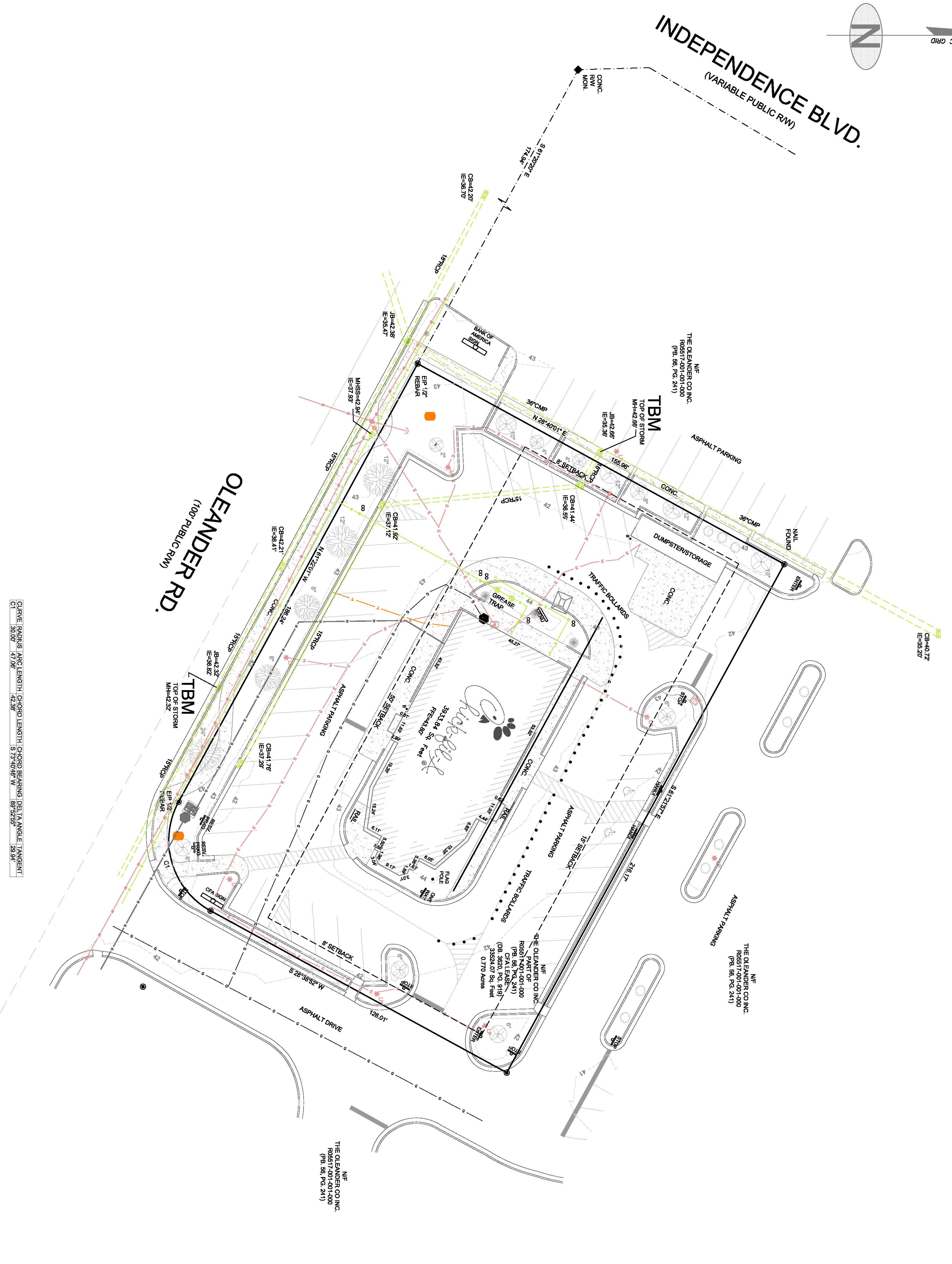
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Store No. : 1425
Date : 7.31.19
Drawn By : CD
Checked By: CD

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C-0.0

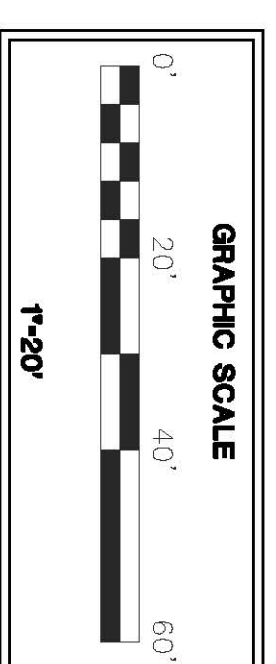
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INDEPENDENCE BLVD.
(VARIABLE PUBLIC RW)



CP	380.00'	47.78°	142.58'	S37°56'20" W	192.52'±	23.93°
CP	58.00'	47.78°	142.58'	S37°56'20" W	192.52'±	23.93°
CP	58.00'	47.78°	142.58'	S37°56'20" W	192.52'±	23.93°



ASBUILT SURVEY FOR	
CITY: WILMINGTON	COUNTY: NEW HANOVER STATE: NORTH CAROLINA
DATE: 6/18/19	SCALE: 1:20
FIELD WORK: MSP	DRAWN BY: MSP
MSP FILE: 024ML	REVIEWED BY: MSP
	MSP 099.1:181250

LEGEND	
	CATCH BASIN
	COMPRESSED PLASTIC PIPE
	18" RISER PIPE
	6" RISER PIPE
	INVERT ELEVATION
	MANHOLE BOX
	OPEN TOP PIPE
	POINT OF COMMENCEMENT
	TEMPORARY BENCHMARK
	REINFORCED CONCRETE PIPE
	SANITARY SEWER MANHOLE
	IRON RISER FOUND
	WATER METER
	GAS VALVE
	TELEPHONE PRESTRUT
	FIRE HYDRANT
	IRON POLE
	POWER METER
	BACKFLOW VALVE
	ELECTRICAL BOX
	BOLLARD
	FORCE MAIN
	GUY WIRE
	RISER NET
	WATER LINE
	POWER LINE
	UNDERGROUND POWER LINE
	FIBER OPTIC
	POWER POLE
	SANITARY SEWER MANHOLE
	CATCH BASIN
	GAS METER
	WATER METER
	TRANSFORMER
	CREEPER WATTLE
	HOLLY
	BIRCH TREE
	FIR TREE
	OAK TREE

GENERAL NOTES

Subject property is located within (Zone X) according to Federal ...
 Evidences based on GPS Observation using CORS stations TORT ...
 Contact proper Authorities Before building new utility lines, for ...
 This survey has been prepared for the exclusive use of the person ...
 or entities named herein. No express or implied warranties are ...
 respect to the information shown herein is to be extended to any ...
 persons or entities other than those shown herein.

A Topcon Higher RTK GPS unit was used to collect boundary control A ...
 Boundary control points were collected and resurveyed on two ...
 separate days. The positional tolerance was within 0.07' and was not ...
 adjusted.

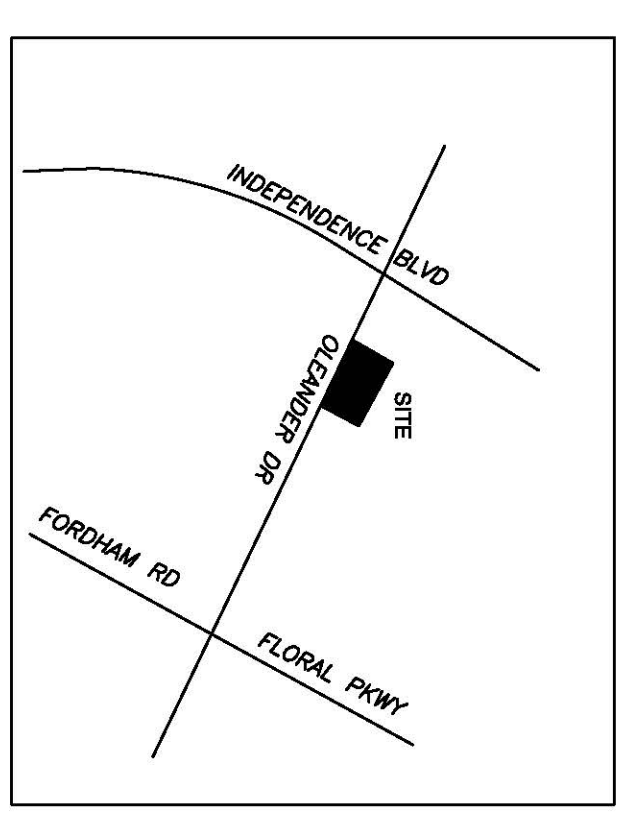
Areas calculated by coordinate method.

Property Zoned RG
 Front Yard Setback 15'
 Side Yard Setback 15'
 Rear Setback 15'
 Setbacks need to be verified by Site Engineer.


I, Michael S. Perdus certify that this plat was drawn under my ...
 supervision from an actual survey made under my supervision and is ...
 in G.S. 42-30 as amended; Witness my original signature, registration # ...
 and seal this 18th day of June 2019.

That this survey is of an existing parcel of land, existing structures ...
 and buildings and does not create a new street or change existing ...
 streets.

Michael S. Perdus, PLS # L-4322
 Property Shown is a portion of Tax Parcel PW1905517-001-001-000
 SURVEY REFERENCE:
 DB, 3620, PG. 919
 PB, 56, PG. 241



VICINITY MAP



5200 Burlington Rd.
Atlanta Georgia
30349-2998

Revisions:

Mark	Date	By

Mark Date By

Mark Date By

Seal Redact

MSP & ASSOCIATES LAND SURVEYING, INC.
 301 E HILLCREST DR. GREENVILLE, SC, 29609
 252-222-7070-7225
 WWW.MSPSURVEYING.COM

CFA WILLIAMINGTON, NC

SHEET TITLE
ASBUILT SURVEY

DWG EDITION: 04.6
 Preliminary
 30% Submittal
 Draw Construction

Job No.:
 Store: 1425
 Date: MSP
 Drawn By: MSP
 Checked By: MSP

Sheet

C-11.1



Know what's below
 Call before you dig.
 Dial 811
 Or Call 800-282-7411

PLEASE NOTE:
 INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THERE MAY BE CHANGES TO UNDERGROUND UTILITIES AND PLANT PLACED BY THE UNDERGROUND PROVIDER SERVICE. ALSO, CENTRATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON.

SITE NOTES

THE PROPOSED PROJECT IS A SITE REDEVELOPMENT FOR AN EXISTING RESTAURANT ESTABLISHMENT. RENOVATIONS INCLUDE DEMOLITION AND RE-CONSTRUCTION AT THE REAR OF BUILDING, SIDEWALK MODIFICATIONS, OTHER PAVEMENT RENOVATIONS, AND THE ADDITION OF DRIVE-THRU CANOPIES. THE PROJECT DISTURBED AREA IS LESS THAN ONE (1) ACRE.

NO KNOWN WETLANDS OR STATE WATERS ARE WITHIN THE PROPERTY LIMITS.

EROSION NOTES

THE RECEIVING WATERS FOR THE SITE ARE HEWLETT'S CREEK
 SOIL TYPE DESCRIPTION
 UR URBAN LAND

(SOURCE: WEBSOILSURVEY.SC.EGOV.USDA.GOV)

DEVELOPMENT AREA TABULATION

PROPERTY AREA	33,524 SF
PROPOSED IMPERVIOUS AREA	+27,932 SF (+83%)
PROPOSED OPEN SPACE	+5,592 SF (+16%)
EXISTING IMPERVIOUS AREA	+27,552 SF (+83%)
EXISTING OPEN SPACE	+5,972 SF (+17%)

BII UTILITY CONTACTS

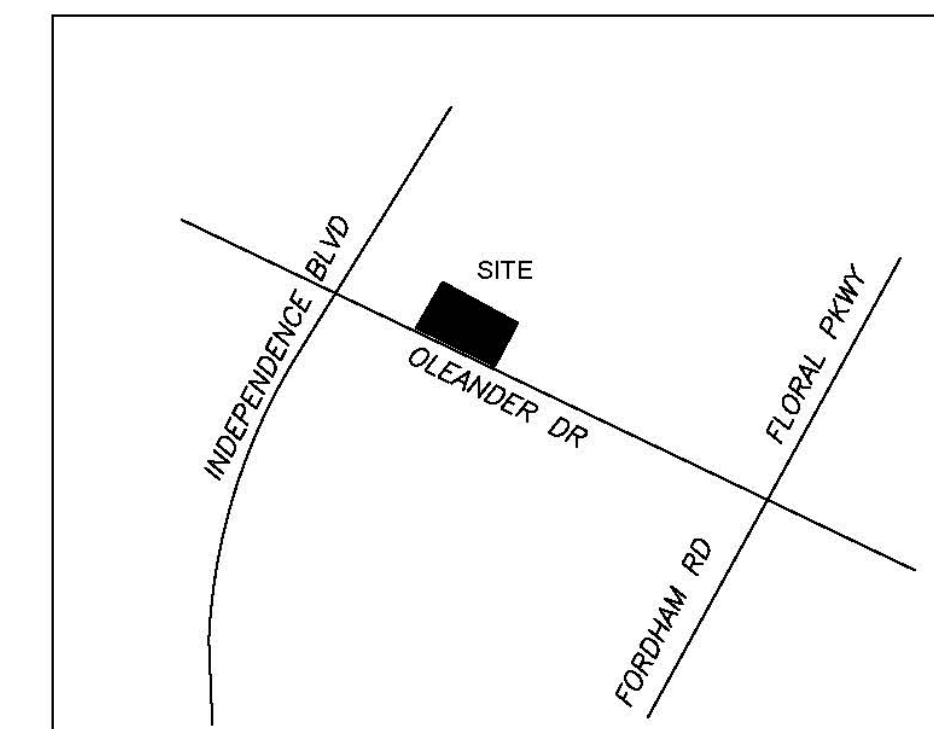
MEMBER	TYPE	CONTACT	PHONE
ATT322*	FIELD 1 -	DISPATCH	800-778-9140
CFPOI	FIELD 2 -	DINO FARRUGGIO	561-997-0240
CPL40*	DAMAGE	ATT REPRESENTATIVE	877-737-2478
CFPOI	FIELD	KATHY WILLIS	910-367-8698
	DAMAGE	JIM TAYSON	910-332-6427
CPL40*	FIELD	DISPATCH	800-778-9140
	DAMAGE	DUKE ENERGY REPRESENTATIVE	800-452-2777
NCNO4A	FIELD	LARRY JOHNSTON	910-465-5397
	DAMAGE	CUSTOMER SERVICE CENTER	800-752-7504
VCWOI*	FIELD	DISPATCH	800-778-9140
	DAMAGE	CAROLINAS REGIONAL OPERATIONS	855-272-2862
WILO2	FIELD	ON CALL PERSONNEL	910-470-1931
	DAMAGE	ON CALL PERSONNEL	910-470-1931

IF ANY DAMAGE INVOLVES A RELEASE OF PRODUCT OR INJURY, PLEASE CALL 911 BEFORE CONTACTING THE OWNER.

DEMOLITION PLAN KEY NOTES

- EXISTING CANOPY & MENU BOARDS TO BE DISPOSED. REMAINING DEBRIS TO BE DISPOSED IN ACCORDANCE WITH LOCAL REQUIREMENTS. REMOVE EXISTING SHRUBS AND LANDSCAPE AROUND MENU BOARD AS DIRECTED BY OPERATOR. SEE SITE AND LANDSCAPE PLANS FOR NEW LANDSCAPE AREAS.
- INSTALL SOD OR RIVER ROCK WITH FILTER FABRIC IN ALL DISTURBED PERVIOUS AREAS NOT OTHERWISE LANDSCAPED. LANDSCAPING ADDED AS DIRECTED BY OPERATOR.
- THE PRESENCE AND LOCATION OF EXISTING IRRIGATION SYSTEMS AND UTILITY LINES/VALVES SHALL BE VERIFIED. CONTRACTOR SHALL REPAIR ANY EXISTING IRRIGATION LINES DAMAGED DURING CONSTRUCTION.
- EXISTING CURB & GUTTER, PAVEMENT, AND SIDEWALK TO BE REMOVED. SAWCUT AT PROPOSED EDGE OF PAVEMENT WHERE ADJACENT TO EXISTING PAVEMENT TO REMAIN.
- CURB INLET PROTECTION. BLOCK AND GRAVEL.
- SILT FENCE.

VICINITY MAP



DEMOLITION LEGEND

- (-X) PARKING SPACES TO BE REMOVED
- (X) EXISTING PARKING SPACES
- EXISTING CURB AND GUTTER TO BE REMAIN
- ==== EXISTING CURB AND GUTTER TO BE REMOVED
- LIMIT --- LIMIT --- LIMITS OF DISTURBANCE
- [Pattern] EXISTING CONCRETE, SAWCUT AT EXISTING EDGE.
- [Pattern] EXISTING PAVEMENT/CONCRETE/SIDEWALK TO BE REMOVED. SAWCUT AT EXISTING EDGE OF PAVING.
- [Pattern] FULL DEPTH ASPHALT REPLACEMENT.
- BERMUDA SOD ALL DISTURBED ON-SITE AREAS
- SOIL TYPE BOUNDARIES
- X - SILT FENCE
- [Symbol] CURB INLET SEDIMENT PROTECTION OR FILTER SOCKS.

CITY OF WILMINGTON NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0686.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1.800.632.4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

24-HOUR EMERGENCY CONTACTS

MANAGING GROUP
 JACOB WATKINS
 JONES LANG LASALLE (JLL) AMERICAS
 (704) 779-3861
 JACOB.WATKINS@AM.JLL.COM

OWNER:
 CHAD ROSS - PROGRAM SUPERVISOR
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GA 30349
 404-765-8000
 CHAD.ROSS@CFACORP.COM



KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 IT'S THE LAW

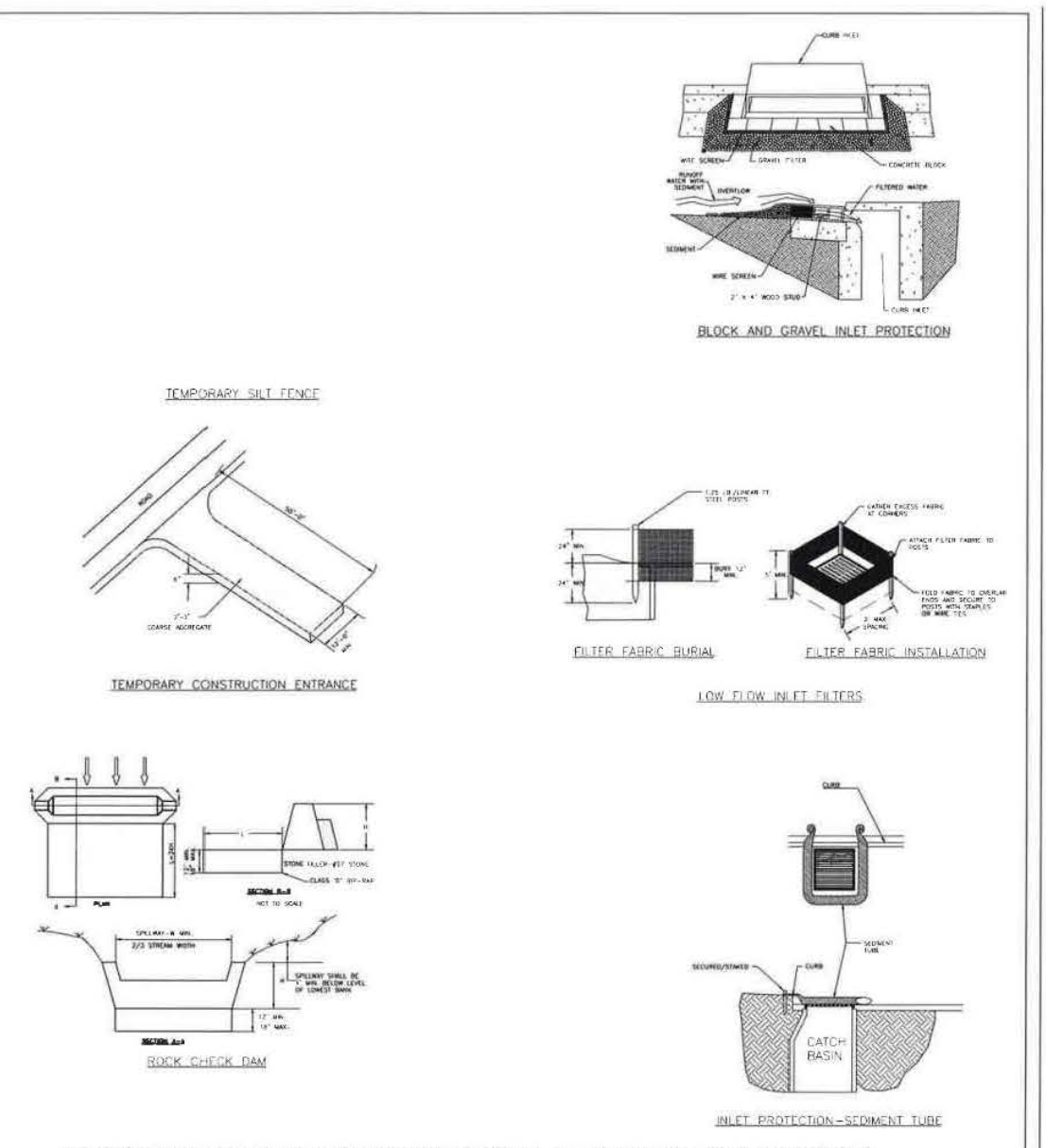
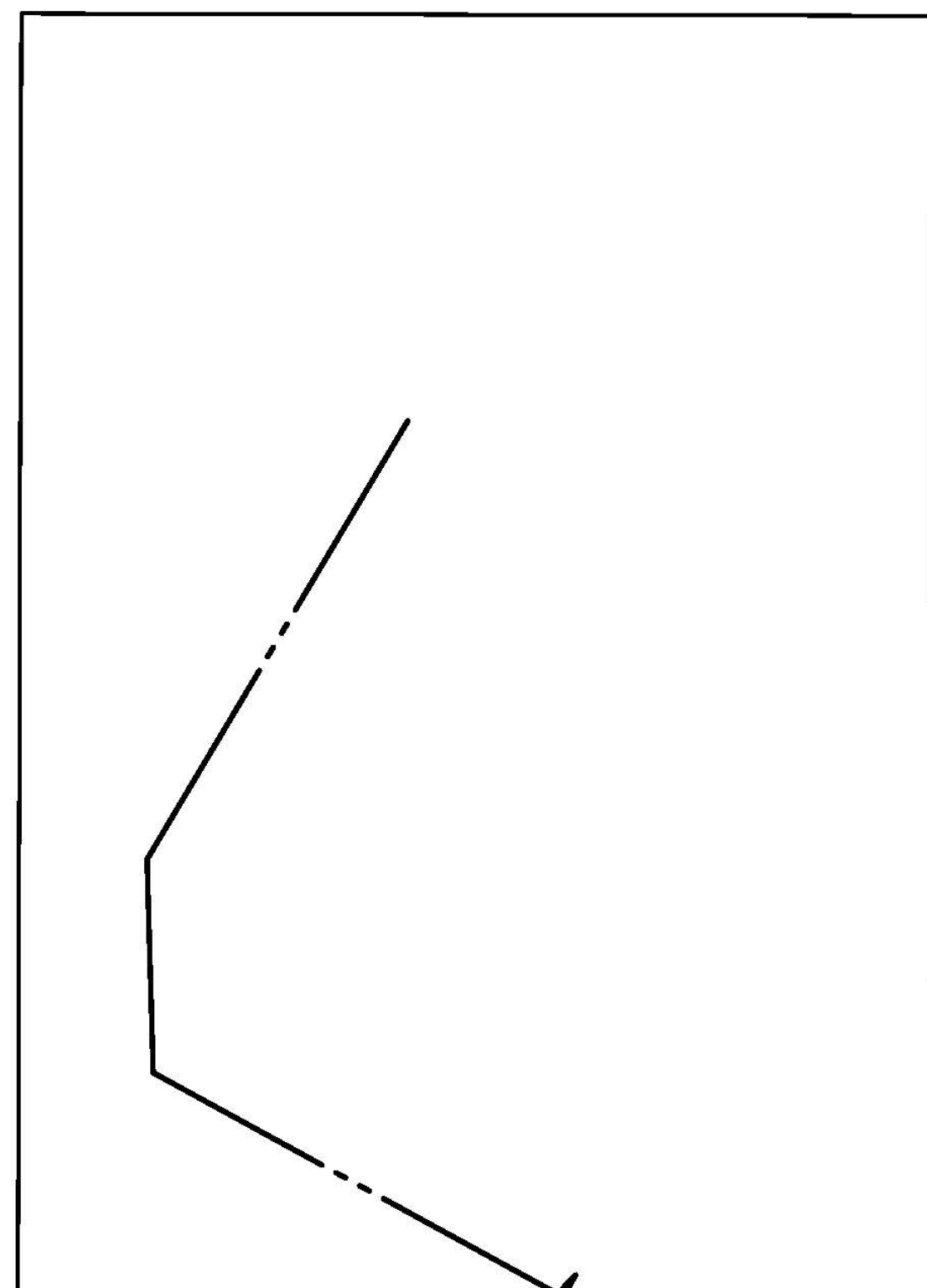
3 DAYS BEFORE DIGGING CALL
 TOLL FREE 1-800-632-4949

UTILITIES PROTECTION CENTER
 WWW.NC811.ORG

CAUTION
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

APMA UNIFORM COLOR CODE FOR MARKINGS:

GREEN - SEWERS AND DRAIN LINES
 PURPLE - RECLAIMED WATER, IRRIG.
 PORTABLE WATER - BLUE
 ORANGE - COMMUNICATION, SIGNAL LINES, CABLES, CONDUIT
 YELLOW - GAS, OIL, STEAM, PETROLEUM
 RED - ELECTRIC POWER, CABLES, CONDUIT AND LIGHTING CABLES
 PINK - TEMPORARY SURVEY MARKINGS
 WHITE - PROPOSED EXCAVATION

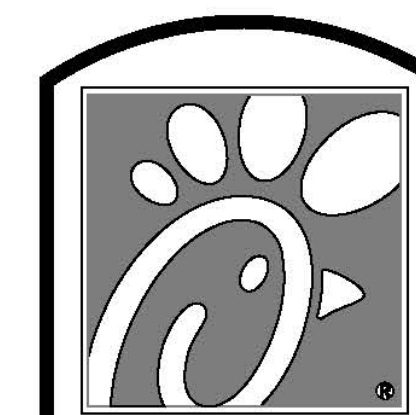


DATE: SEPTEMBER, 2012
 DRAWN BY: JSR
 CHECKED BY: BOK, P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
GUIDELINES FOR SEDIMENT CONTROL BMPs

WILMINGTON
 CITY OF WILMINGTON, ENGINEERING
 702 BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 3-104



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark Date By

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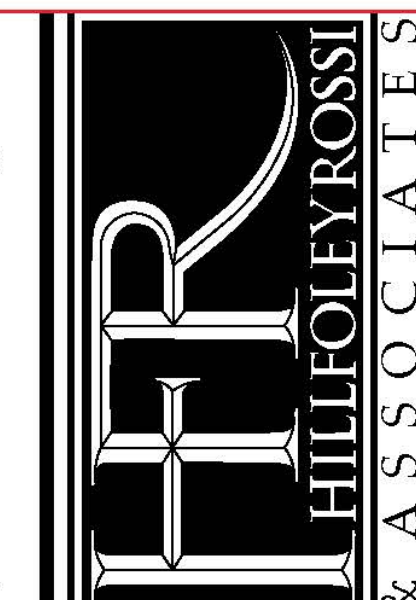
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CITY SITE APPROVAL

Mark Date By

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Seal Redact



ARCHITECTURE
 ENGINEERING
 3680 Pleasant Hill Road
 Suite 200
 Duluth Georgia 30096
 p 770.622.9858
 f 770.622.9555
 www.hillfoleyrossi.com

STORE
 Olander FSU
 FSR #1425
 3389 Olander Drive
 Wilmington, NC
 28403

SHEET TITLE

DEMOLITION
 AND EROSION
 PLAN

DWG EDITION S97-110
 REVISION 04/2017

Job No. :19.410

Store No. :1425

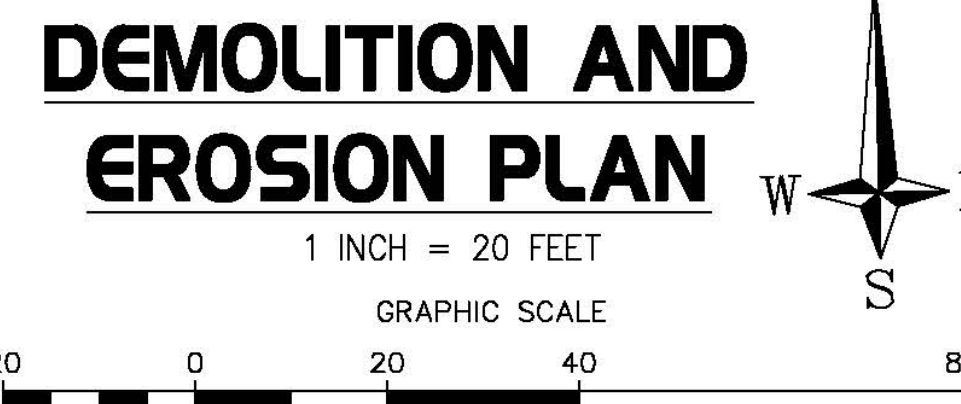
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Drawn By :CD

Checked By:CD

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SITE NOTES

- DEVELOPER/OWNER INFORMATION:
- DESIGNER INFORMATION:
- PROJECT LOCATION:
- CURRENT SITE ZONING: RB (RESIDENTIAL BUSINESS)
- ALL DESIGN IS BASED UPON A SURVEY BY MSP DATED 6/18/19
- THERE ARE NO WETLANDS/STATE WATERS ON THIS SITE.
- MINIMAL LANDSCAPE MODIFICATIONS ARE PROPOSED.

CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
CONTACT: EVAN FOSTER
(404) 305-7631

HILL FOLEY ROSSI & ASSOCIATES, LLC
3680 PLEASANT HILL ROAD
SUITE 200
DULUTH, GA 30096

3389 OLEANDER DRIVE,
WILMINGTON, NC 28403
- CITY: WILMINGTON
- COUNTY: NEW HANOVER

PARCEL IDENTIFICATION NUMBER (PIN): R05517-001-001-000

CITY OF WILMINGTON PARKING REQUIREMENTS

VEHICLE CATEGORY: RESTAURANTS (FAST FOOD)

MINIMUM PARKING = 1 SP/2.5 SEATS OR 1 SP/65 SF GROSS FLOOR AREA

106 SEAT/25 = 42 SPACES
4310 SF/65 = 66 SPACES

PARKING EXISTING = 42 SPACES
PARKING PROVIDED = 32 SPACES
PARKING REQUIRED = 66 SPACES

PARKING REQUIRED (SECT. 18-53.2)

EXISTING PARKING AGREEMENT WITH ADJACENT AZALEA PLAZA PARCEL PER DEED BOOK 1743, PAGE 247-255

PROPERTY ZONED RB (RESIDENTIAL BUSINESS)
SETBACKS - FRONT: 25' SIDE: 0' REAR: 15'
CORNER LOT SETBACK: 25'

DRIVE THRU CASH STATION

- D1 LOCATION OF A 360 DEGREE BUILDING MOUNTED EXTERIOR CAMERA (BY OTHERS). PROVIDE A 3/4" CONDUIT AT 9'-4" AFF TO POLE OR AN EXTERIOR WALL MOUNTED WP JUNCTION BOX WITH THE CONDUIT ABOVE THE INTERIOR CEILING AND EXTENDED TO AN ACCESSIBLE CEILING AREA FOR CAMERA CABLES BY OTHERS.
- D2 PROVIDE AN EXTERIOR DUPLEX 120V, 20A RECEPTACLE AT 18" AFF WITH "IN-USE" STYLE LOCKABLE WP COVER AND CONNECT TO A GENERAL PURPOSE 120V RECEPTACLE CIRCUIT.
- D3 PROVIDE A JUNCTION BOX 18" ABOVE ROOF LINE ON THE INSIDE PARAPET WALL ABOVE THE ROOF WITH A 3/4" CONDUIT STUBBED DOWN INTO AN ACCESSIBLE CEILING SPACE AREA BELOW FOR THE OWNER PROVIDED WI-FI ANTENNAE.
- D4 PATH FOR CASH STATION FROM SERVICE YARD TO CASH STATION LOCATION
- D5 3'-0" X 5'-6" CONCRETE PAD FOR CASH STATION UMBRELLA IS PER OPERATOR OPTION AND EXPENSE
- D6 PROVIDE 2'-0" PATH FOR CASH STATION ATTENDANT TO WALK FROM CAR #4 TO #6.

NOTE: THE DESIGN INTENT FOR THE IDEAL LOCATION OF THE CASH STATION PATH IS TO BE POSITIONED APPROXIMATELY 4 VEHICLES BACK FROM THE D/T WINDOW. HOWEVER, CONSIDERATION SHOULD BE MADE TO KEEP THE CASH STATION AWAY FROM MOP, CT CABINET, & ANY OTHER BLDG. MOUNTED ITEMS THAT COULD IMPACT THE LOCATION.

SITE PLAN KEY NOTES

SIDEWALK AREAS

- 1 TYPICAL CONCRETE SIDEWALK (7' WIDTH TYP.)
- 2a RETURNED CURB ACCESSIBLE RAMP
- 2b FLARED SIDES ACCESSIBLE RAMP
- 3 NEW 24" CURB AND GUTTER
- 4 PROPOSED ALUMINUM HANDRAIL (TWO SECTIONS)
- 5 RELOCATE ROOF DRAINS TO PENETRATE CURB. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATION.

DRIVE-THRU AREA

- 10 NEW MENUBOARDS
- 11 YELLOW STRIPING - 4' SINGLE YELLOW SOLID LINE
- 12 4' SINGLE WHITE SOLID LINE
- 13 2' CONCRETE STRIP FOR STRIPED WALK AREA
- 14 12" ROLLOVER CURB WITH 3" CURB BREAKS FOR DRAINAGE. CURB TO BE PAINTED YELLOW WITH 6" BLACK STRIPE PAINTED EVERY 24" O.C.
- 15 SITE AND DRIVE-THRU STRIPING DETAILS
- 16 CONCRETE BOLLARD
- 17 MULTI ORDER POINT ISLAND CURB
- 18 LOOP DETECTION - POWER REQUIRED TO ORDER POINTS
- 19 9' DOUBLE CLEARANCE BAR

GENERAL SITE AREAS

- 21 NEW DRIVE-THRU CONCRETE PAVING SECTION - SAWCUT AT EXISTING EDGE OF PAVING.
- 22 TYPICAL ASPHALT PAVEMENT SECTION - SAWCUT AT EXISTING EDGE OF PAVING.
- 23 5' CROSSWALK
- 24 HANDICAP PARKING STALL
- 25 HANDICAP PARKING STALL (VAN)

SITE SIGNAGE
SEE SIGN PACKAGE BY OTHERS

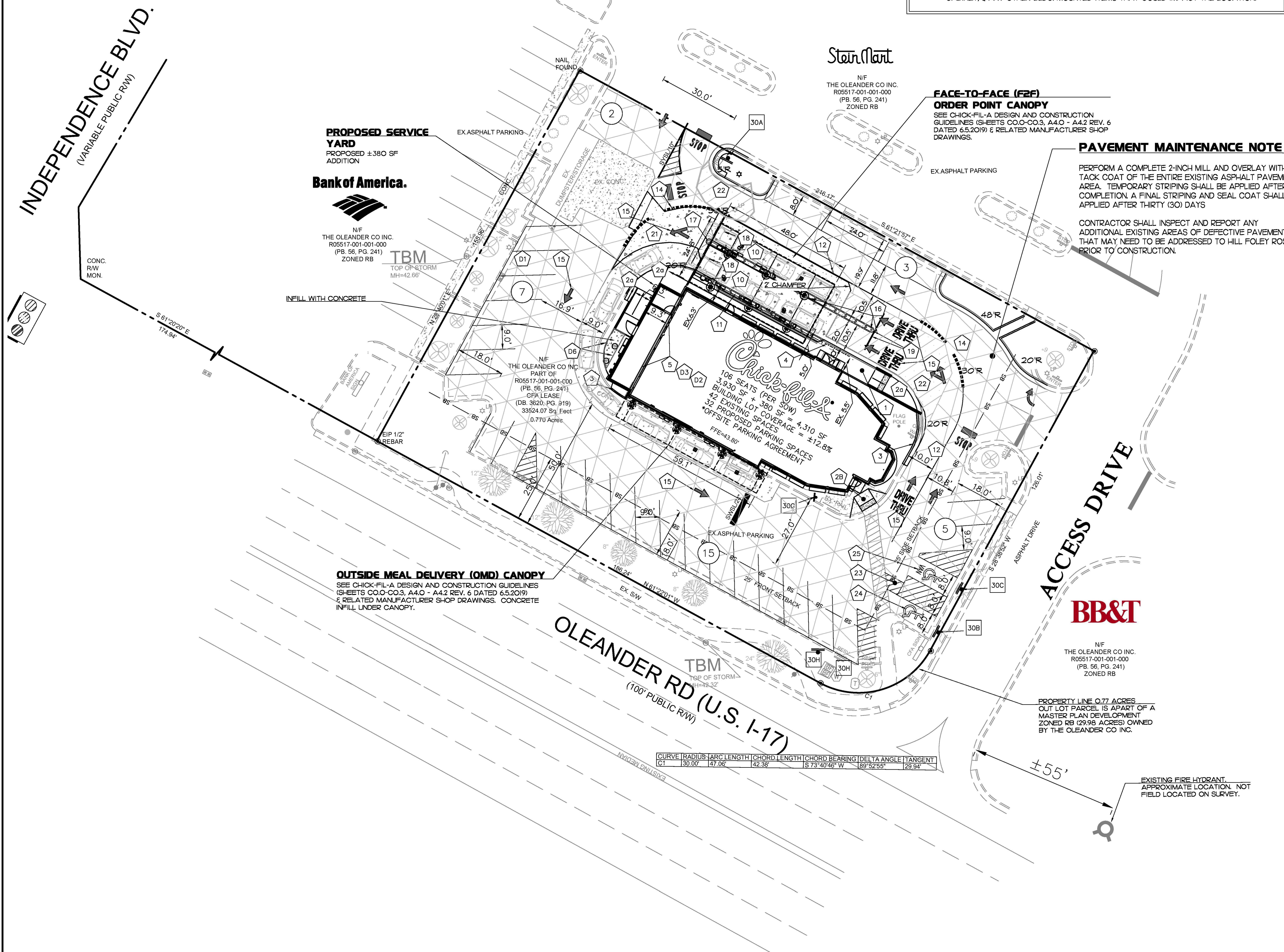
- 30 DIRECTIONAL SIGNAGE (REFER TO CFA SIGN PACKAGE FOR MORE DETAILS AND STANDARDS). ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION. ALL SIGNS SHALL BE 2' OFFSET FROM FACE OF CURB.

LEGEND:

- 30A STOP SIGN (R-1 30"x30")
- 30B HANDICAP IN BOLLARD
- 30C HANDICAP (VAN) IN BOLLARD
- 30G YIELD TO PEDESTRIANS
- 30H "MOBILE PICKUP" SIGN

SITE METALS

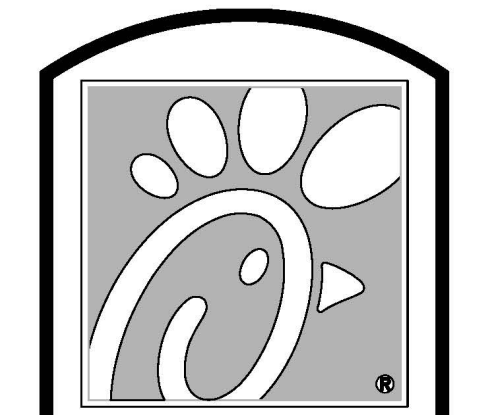
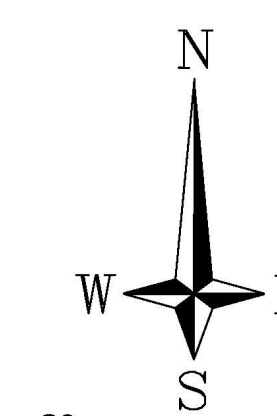
ALL SITE METALS TO BE PAINTED BLACK INCLUDING DIRECTIONAL SIGNAGE. (SITE LIGHTING IS EXCLUDED). SHERWIN WILLIAMS BRONZETONE CUSTOM COLOR CHART - DARK BRONZE



LEGEND:

- DRIVE THRU CONC. PAVING SECTION
- TYP. ASPHALT PAVEMENT SECTION
- NEW CONCRETE SIDEWALK
- MILL & OVERLAY PAVEMENT
- EXISTING CONCRETE
- NEW PARKING SPACE COUNT
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER

SITE PLAN
1 INCH = 20 FEET
GRAPHIC SCALE



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
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HILL FOLEY ROSSI & ASSOCIATES

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ENGINEERING

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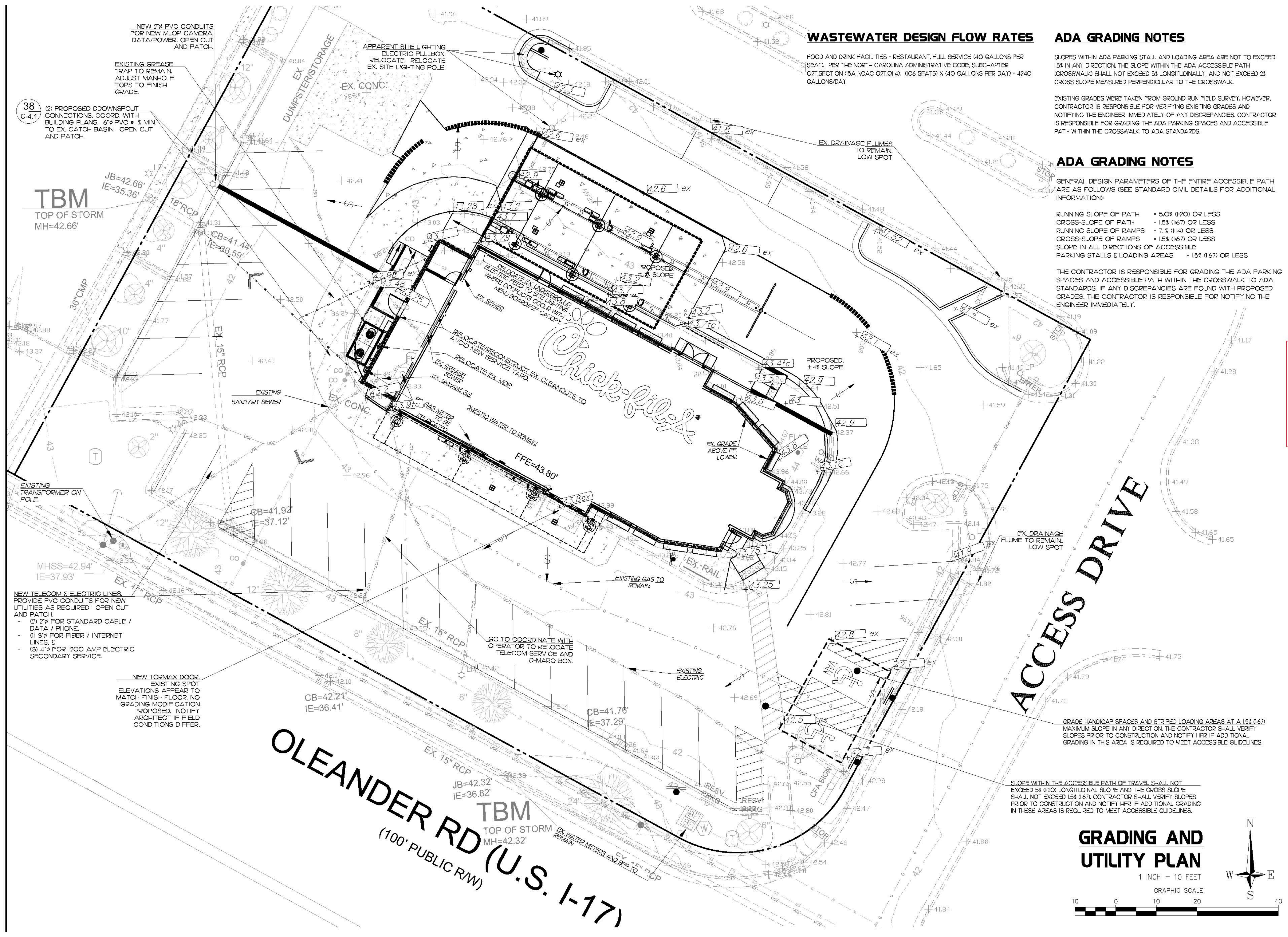
SHEET TITLE
SITE PLAN

DWG EDITION S97-110
REVISION 04/2017

Job No. : 19.410
Store No. : 1425
Date : 7.31.19
Drawn By : CD
Checked By : CD

Sheet
C-2.0

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WASTEWATER DESIGN FLOW RATES

FOOD AND DRINK FACILITIES - RESTAURANT, FULL SERVICE (40 GALLONS PER SEAT). PER THE NORTH CAROLINA ADMINISTRATIVE CODE, SUBCHAPTER 02T, SECTION 15A (NCA 02T.014), (106 SEATS) X (40 GALLONS PER DAY) = 4240 GALLONS/DAY

ADA GRADING NOTES

SLOPES WITHIN ADA PARKING STALL AND LOADING AREA ARE NOT TO EXCEED 1.5% IN ANY DIRECTION. THE SLOPE WITHIN THE ADA ACCESSIBLE PATH (CROSSWALK) SHALL NOT EXCEED 5% LONGITUDINALLY, AND NOT EXCEED 2% CROSS SLOPE MEASURED PERPENDICULAR TO THE CROSSWALK.

EXISTING GRADES WERE TAKEN FROM GROUND RUN FIELD SURVEY, HOWEVER, CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING GRADES AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR GRADING THE ADA PARKING SPACES AND ACCESSIBLE PATH WITHIN THE CROSSWALK TO ADA STANDARDS.

ADA GRADING NOTES

GENERAL DESIGN PARAMETERS OF THE ENTIRE ACCESSIBLE PATH ARE AS FOLLOWS (SEE STANDARD CIVIL DETAILS FOR ADDITIONAL INFORMATION):

- RUNNING SLOPE OF PATH = 5.0% (1/20) OR LESS
- CROSS-SLOPE OF PATH = 1.5% (1/67) OR LESS
- RUNNING SLOPE OF RAMPS = 7.5% (1/14) OR LESS
- CROSS-SLOPE OF RAMPS = 1.5% (1/67) OR LESS
- SLOPE IN ALL DIRECTIONS OF ACCESSIBLE PARKING STALLS & LOADING AREAS = 1.5% (1/67) OR LESS

THE CONTRACTOR IS RESPONSIBLE FOR GRADING THE ADA PARKING SPACES AND ACCESSIBLE PATH WITHIN THE CROSSWALK TO ADA STANDARDS. IF ANY DISCREPANCIES ARE FOUND WITH PROPOSED GRADES, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER IMMEDIATELY.

38
C-4.1

(2) PROPOSED DOWNSPOUT CONNECTIONS. COORD. WITH BUILDING PLANS. 6" PVC @ 12" MIN. TO EX. CATCH BASIN. OPEN CUT AND PATCH.

TBM
TOP OF STORM MH=42.66'

NEW TELECOM & ELECTRIC LINES. PROVIDE PVC CONDUITS FOR NEW UTILITIES AS REQUIRED. OPEN CUT AND PATCH:

- (2) 2" FOR STANDARD CABLE / DATA / PHONE.
- (1) 3" FOR FIBER / INTERNET LINES, &
- (3) 4" FOR 1200 AMP ELECTRIC SECONDARY SERVICE.

NEW TORMAX DOOR. EXISTING SPOT ELEVATIONS APPEAR TO MATCH FINISH FLOOR. NO GRADING MODIFICATION PROPOSED. NOTIFY ARCHITECT IF FIELD CONDITIONS DIFFER.

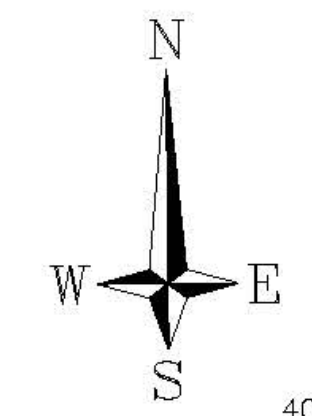
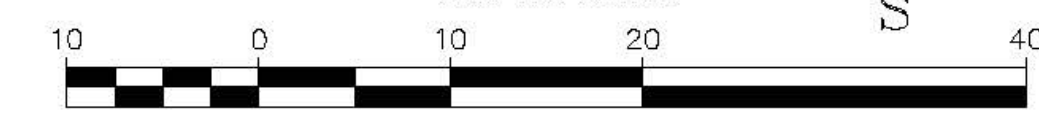
OLEANDER RD (U.S. 1-17)
(100' PUBLIC RW)

TBM
TOP OF STORM MH=42.32'

ACCESS DRIVE

GRADING AND UTILITY PLAN

1 INCH = 10 FEET



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Mark Date By

△

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CITY SITE APPROVAL

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SHEET TITLE

GRADING AND UTILITY PLAN

DWG EDITION S97-110
REVISION 04/2017

Job No. : 19.410

Store No. : 1425

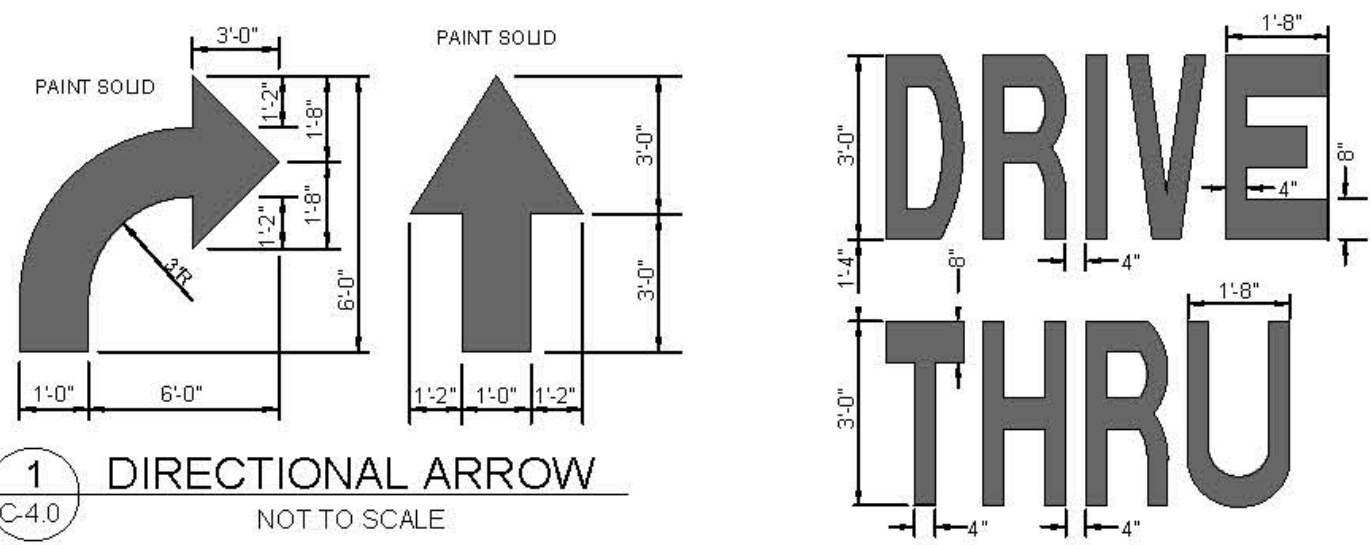
Date : 7.31.19

Drawn By : CD

Checked By: CD

Sheet

C-3.0

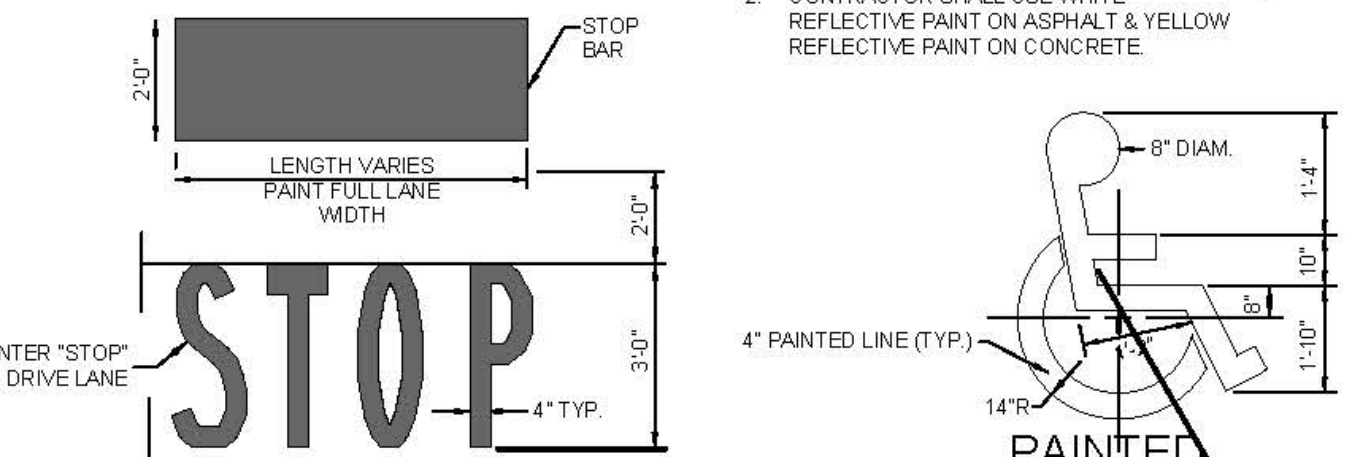


1 DIRECTIONAL ARROW
C-4.0
NOT TO SCALE

2 DRIVE-THRU GRAPHICS
C-4.0
NOT TO SCALE

NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL C-4.0
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE

NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL C-4.0
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE

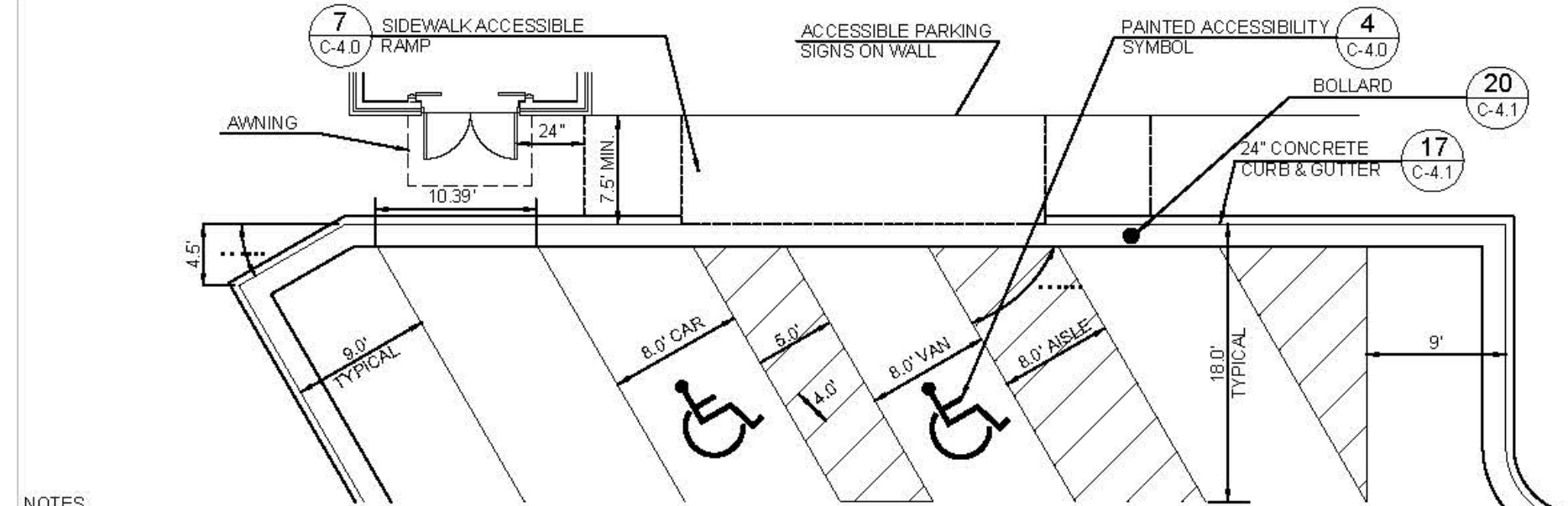


3 STOP LINE GRAPHIC
C-4.0
NOT TO SCALE

4 ACCESSIBILITY SYMBOL
C-4.0
NOT TO SCALE

NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL C-4.0
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE
3. IF STOP SIGN IS PROPOSED, STOP LINE GRAPHIC IS NOT REQUIRED.

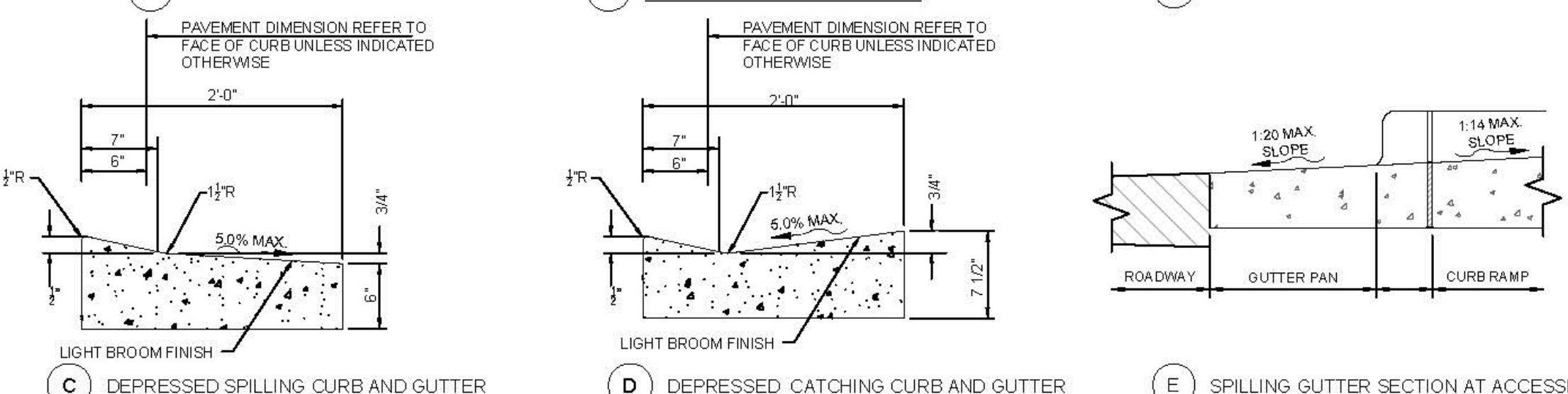
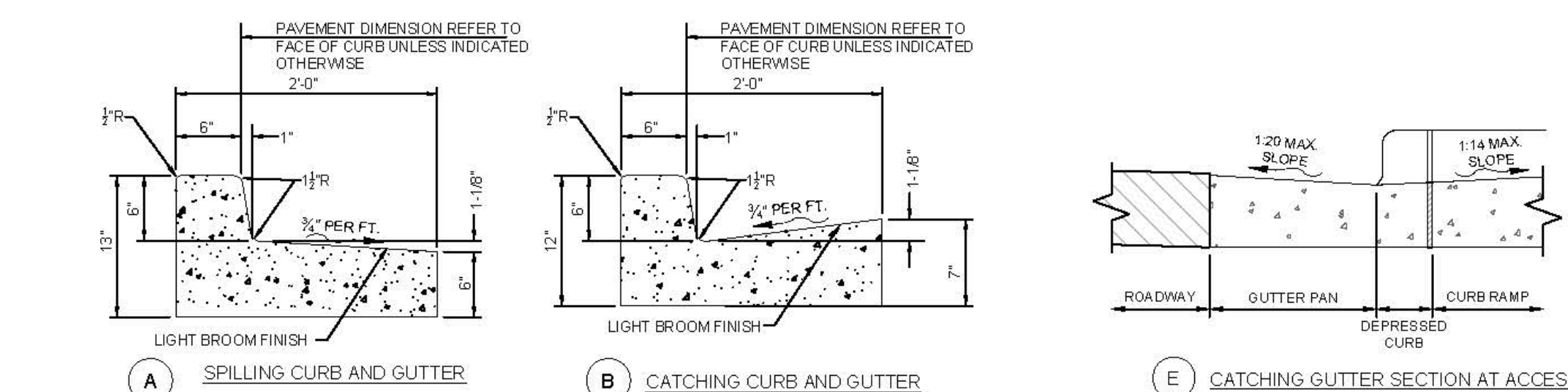
NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL C-4.0
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.



NOTES:

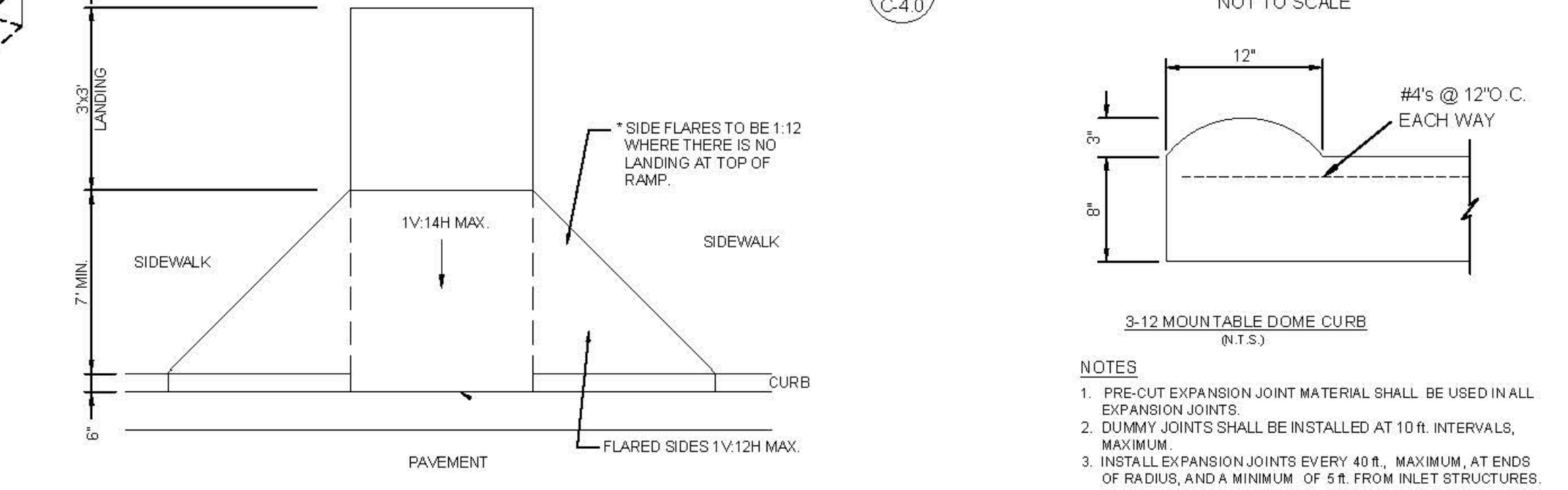
- 1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESSIBLE AISLE IS INSTALLED, IT IS TO BE A VAN SIZE.**
- 2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.**
- 3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS.**
- 4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.**
- 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.**
- 6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.**
- 7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.**
- STANDARDS:**
- | | |
|------------------|--|
| AIRLESS PRESSURE | 1800-2700 PSI |
| HOSE | 1/2" ID |
| TIP | 0.015" - 0.017" |
| FILTER | 60 MESH |
| REDUCTION | ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPHTHA R113 |
- CONVENTIONAL:**
- | | |
|----------------------|--|
| GUN | BLINKS 211 (BLEEDER) OR EQUIVALENT #68 |
| FLUID NOZZLE | INTERNAL MIX, #709 |
| AIR NOZZLE | 45-60 PSI |
| ATOMIZATION PRESSURE | 40-70 PSI |
| FLUID PRESSURE | ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPHTHA R113 |
| REDUCTION | ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPHTHA R113 |
- SHERWIN WILLIAMS HIC SHARK GRIP SLIP RESISTANT ADDITIVE TO BE MEASURED AND ADDED TO ALL PAINT PER MANUFACTURER'S WRITTEN SPECIFICATIONS. MIX THOROUGHLY PER MANUFACTURER'S RECOMMENDATIONS SO THAT NO CLUMPING IS APPARENT AND UNTIL EVEN DISTRIBUTION IS ACHIEVED. MAINTAIN AN EVEN DISTRIBUTION OF ADDITIVE IN PAINT THROUGHOUT THE APPLICATION PROCESS.**
- MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY. PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.**
- GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.**

5 STANDARD PARKING STALL
C-4.0
NOT TO SCALE



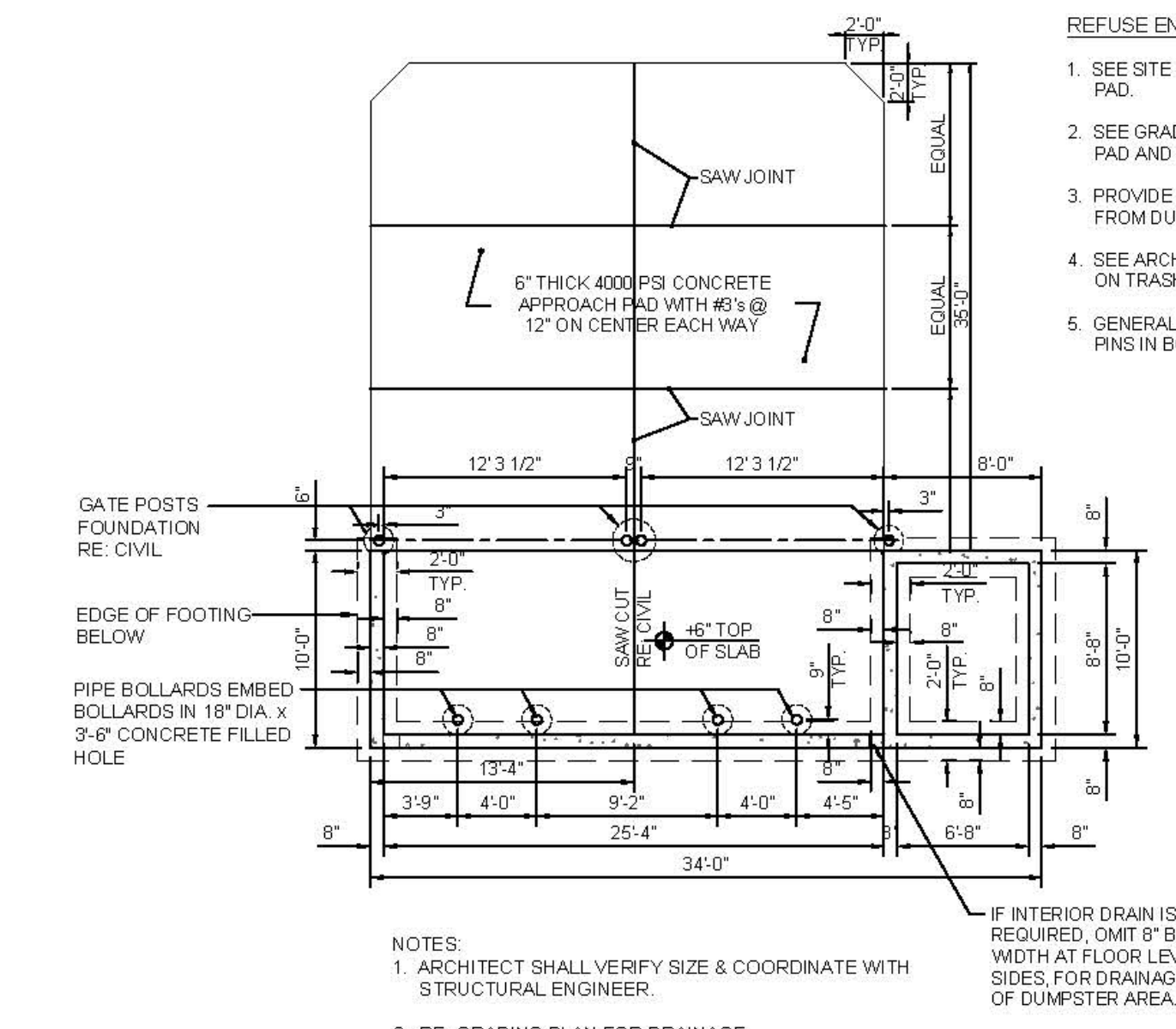
NOTES:
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
2. CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
3. AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

17 24" CONCRETE CURB & GUTTER
C-4.0
NOT TO SCALE

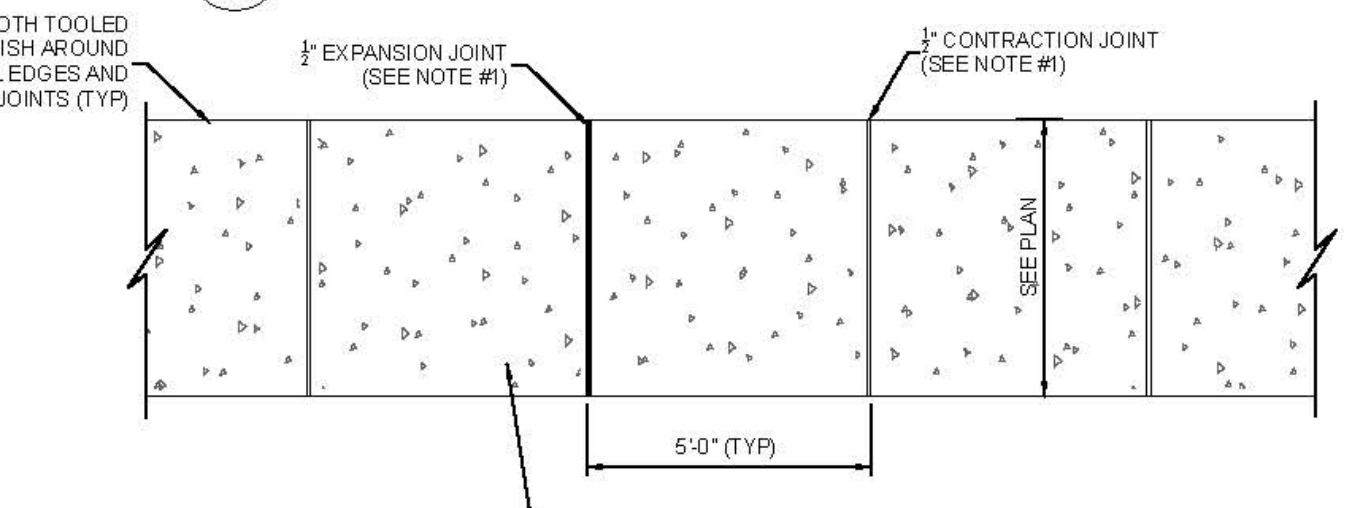


8 CURB RAMP w/ FLARED SIDES
C-4.0
NOT TO SCALE

REFUSE ENCLOSURE PLAN GENERAL NOTES:
1. SEE SITE PLAN FOR LAYOUT OF CONCRETE LOADING PAD.
2. SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD AND DRAINAGE OF INTERIOR TRASH ENCLOSURE.
3. PROVIDE POSITIVE DRAINAGE ON APPROACH PAD AWAY FROM DUMPSTER. (SEE GRADING PLAN)
4. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON TRASH ENCLOSURE.
5. GENERAL CONTRACTOR SHALL DRILL HOLES FOR GATE PINS IN BOTH THE OPEN AND CLOSED POSITION.

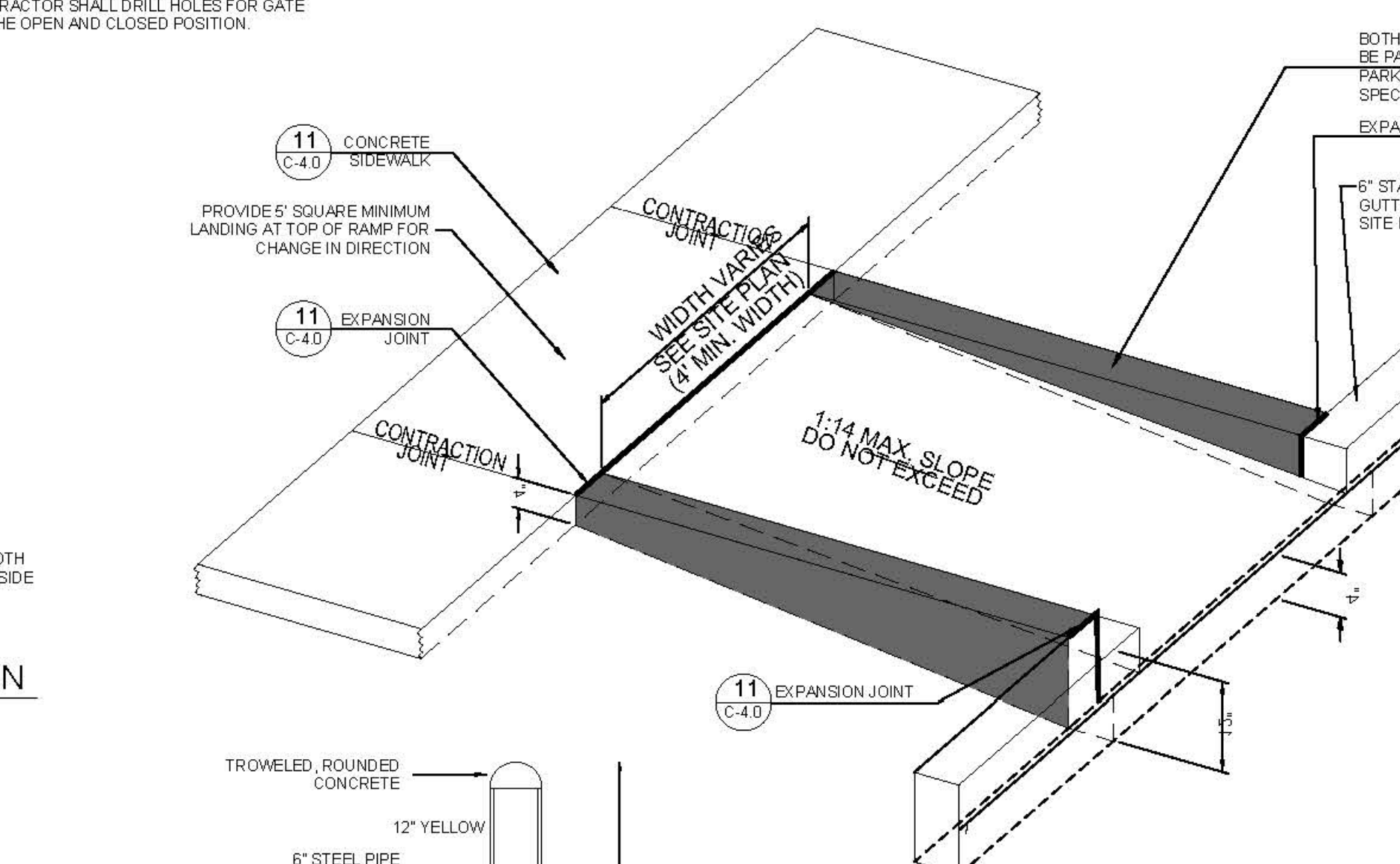


19 SCREENED REFUSE ENCLOSURE FOUNDATION PLAN
C-4.0
NOT TO SCALE

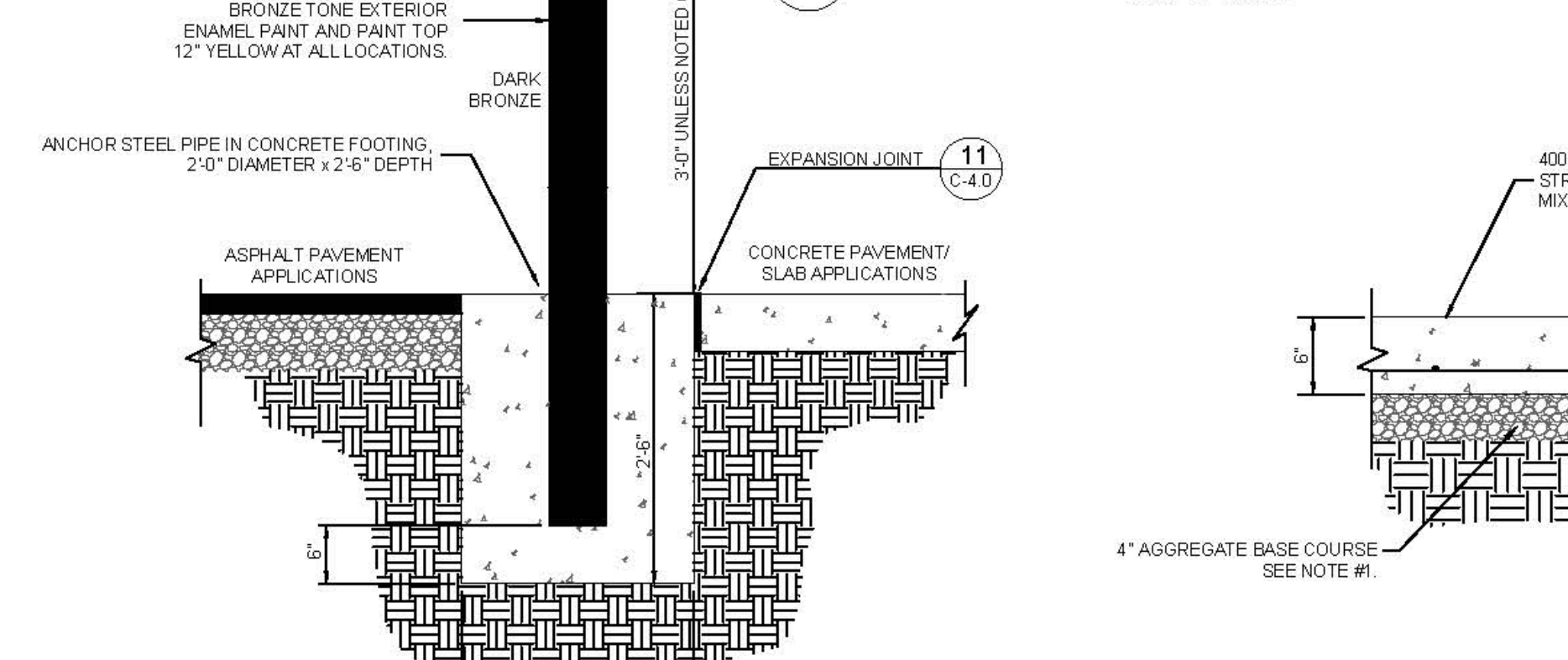


11 TYPICAL CONCRETE SIDEWALK
C-4.0
NOT TO SCALE

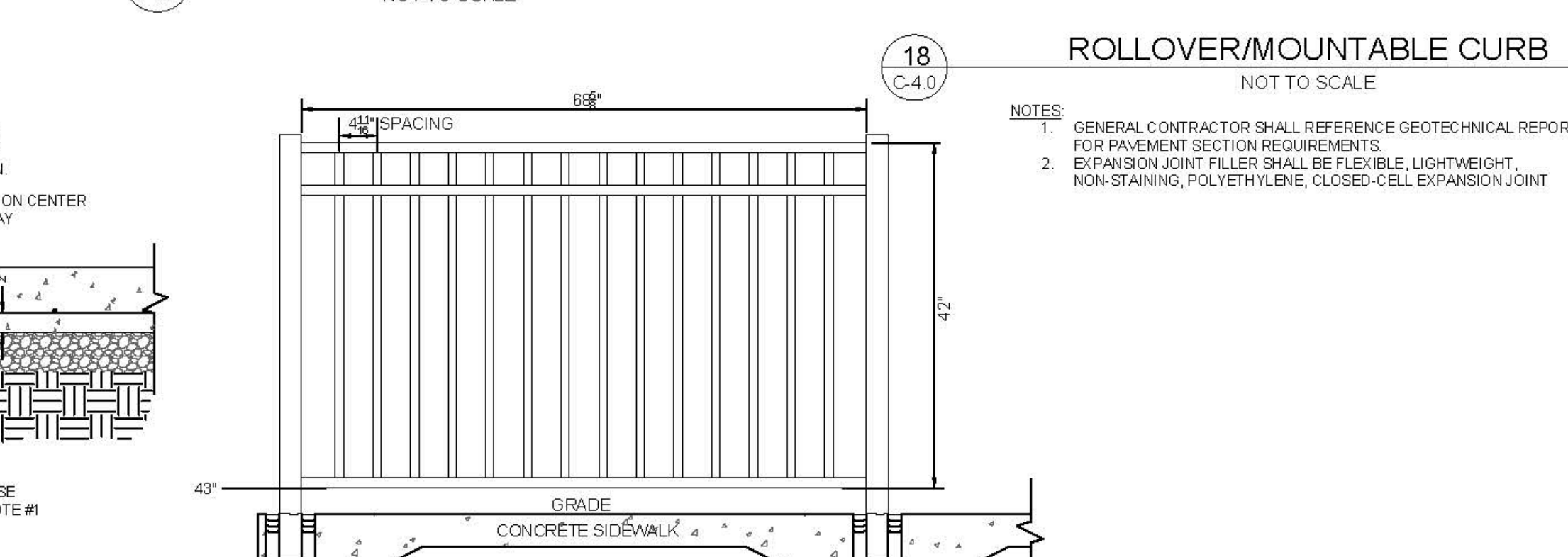
NOTES:
1. JOINTS AT 5'-0" O.C. TOOLED 1/2" WIDE, 1" DEEP OR MAX. 1/2" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.'s UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN. VIEW JOINT PATTERN.
2. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



9 RETURNED CURB ACCESSIBLE RAMP
C-4.0
NOT TO SCALE

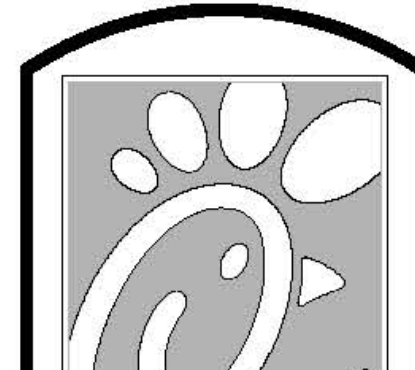


20 CONCRETE BOLLARD
C-4.0
NOT TO SCALE



28 ALUMINUM HANDRAIL
C-4.0
NOT TO SCALE

NOTES:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.
2. MINIMUM PAVEMENT THICKNESS SHALL BE 6" CONCRETE, 4" AGGREGATE BASE.



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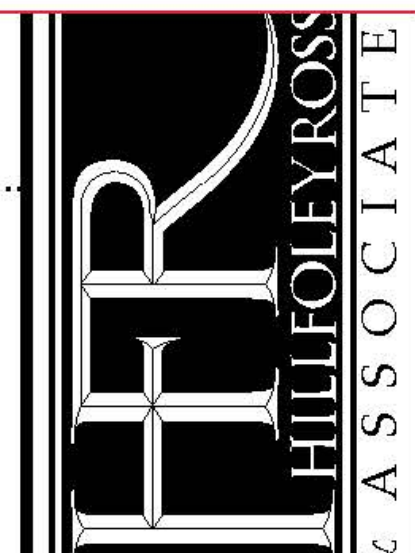
Revisions:

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CITY SITE APPROVAL

Mark Date By

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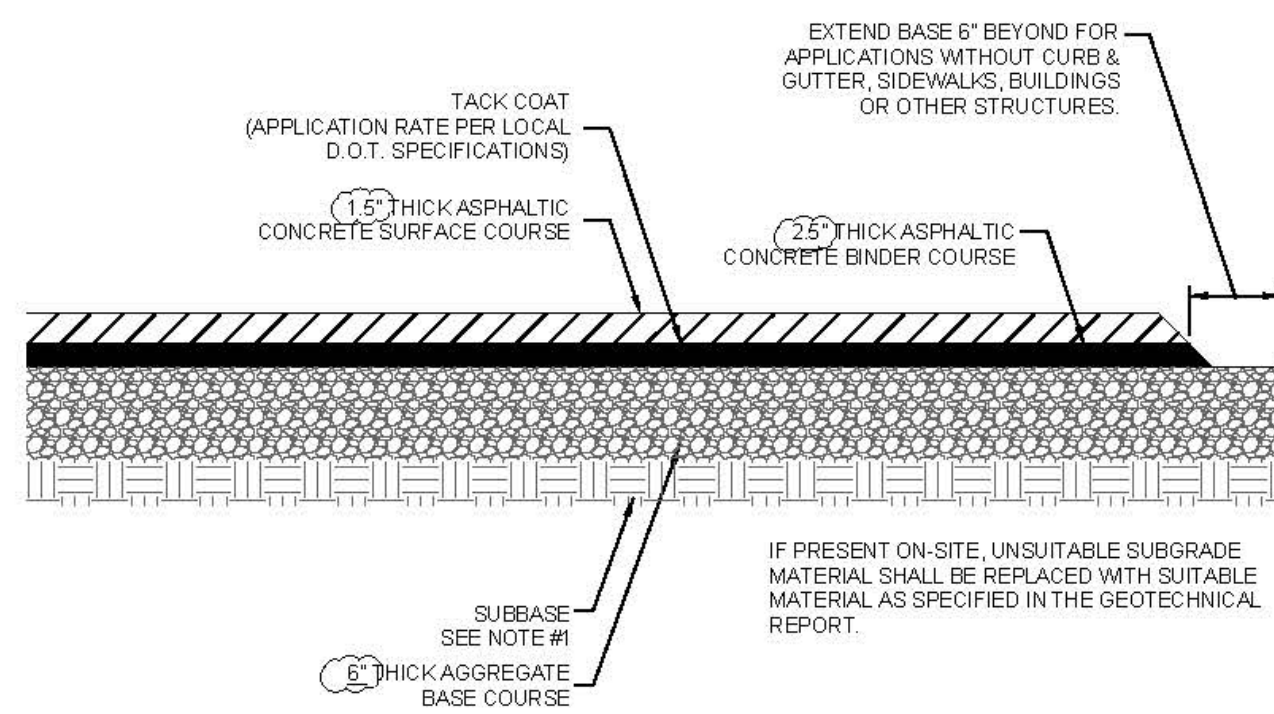
STORE
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28403

SHEET TITLE
CHICK-FIL-A
SITE DETAILS

DWG EDITION S97-110
REVISION 04/2017

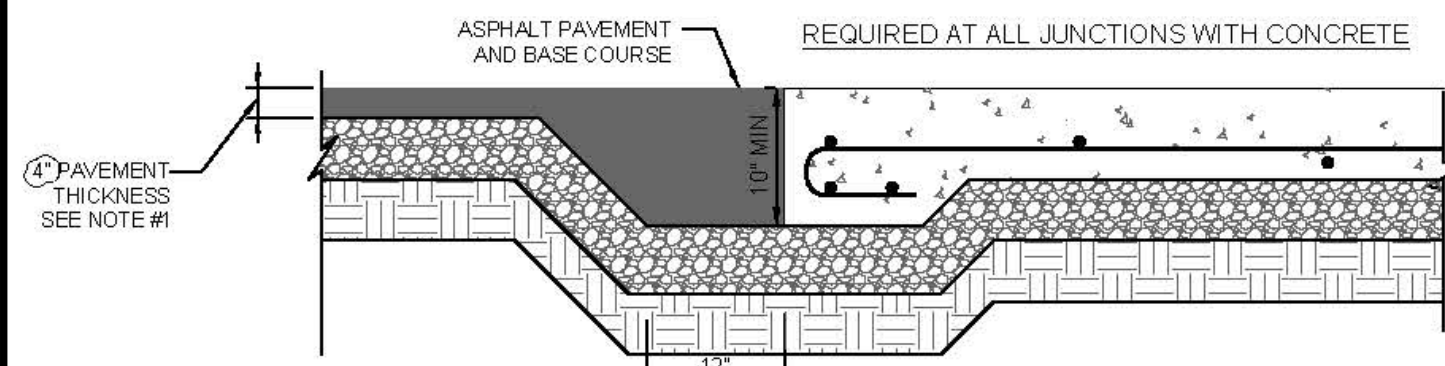
Job No. : 19.410
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C-4.0



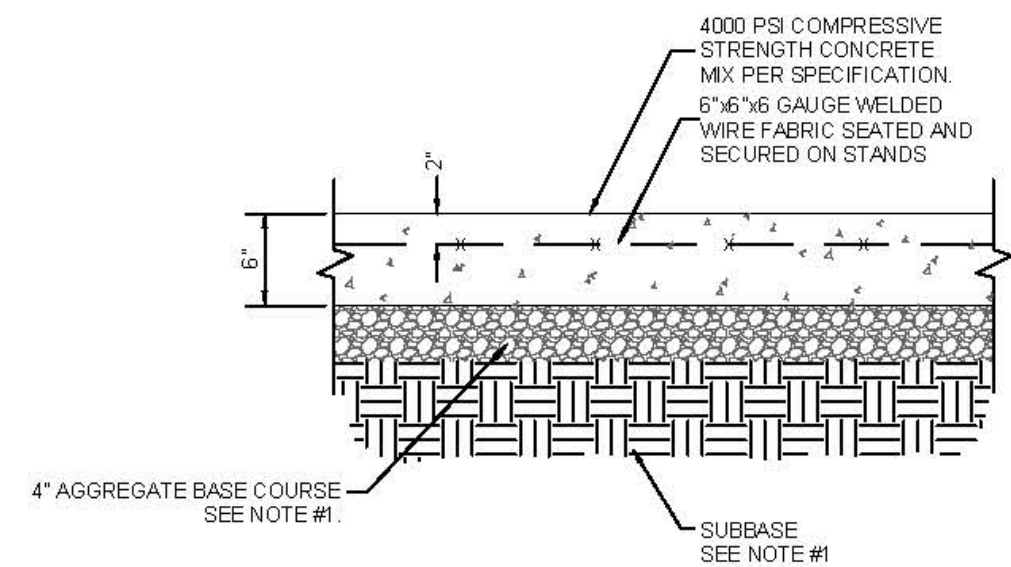
21 C-4.1 TYPICAL ASPHALT SECTION NOT TO SCALE

- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE SITE-SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>



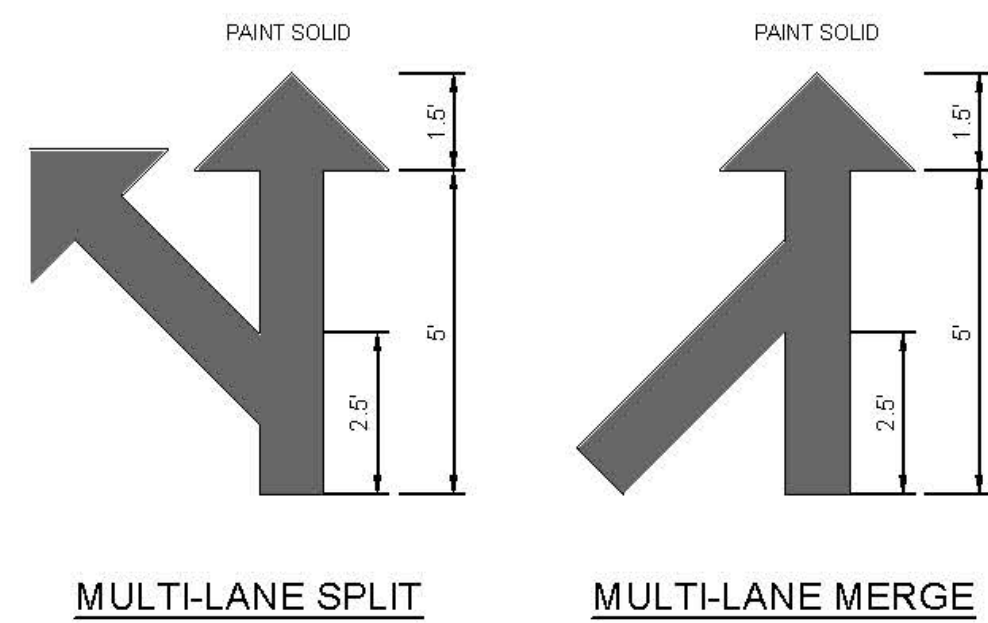
21A C-4.1 PAVEMENT EDGE DETAIL NOT TO SCALE

- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>



25 C-4.1 CONCRETE PAVING DRIVE-THRU LANE NOT TO SCALE

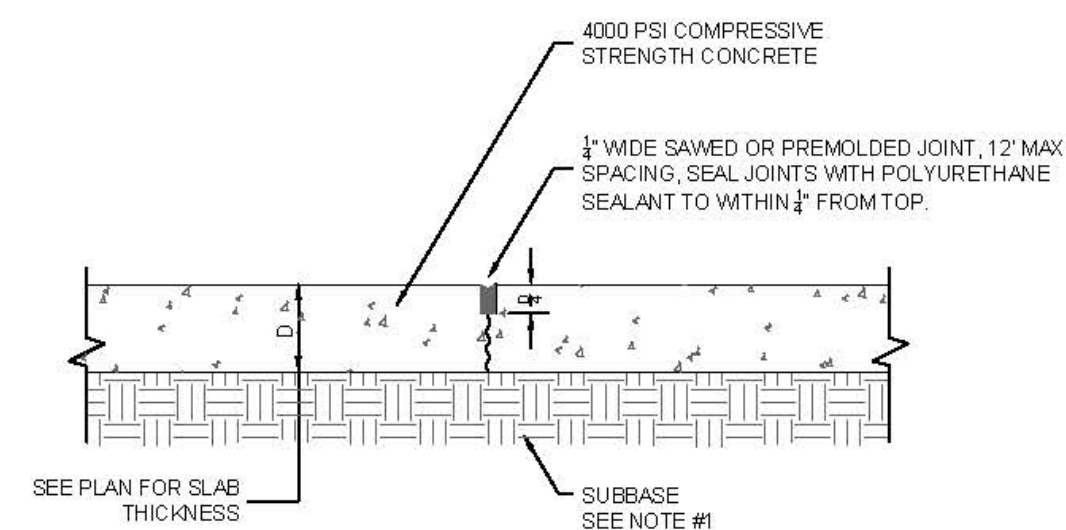
- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.
 - MINIMUM PAVEMENT THICKNESS SHALL BE 6\"/>



32 C-4.1 MULTI-LANE DIRECTIONAL GRAPHICS NOT TO SCALE

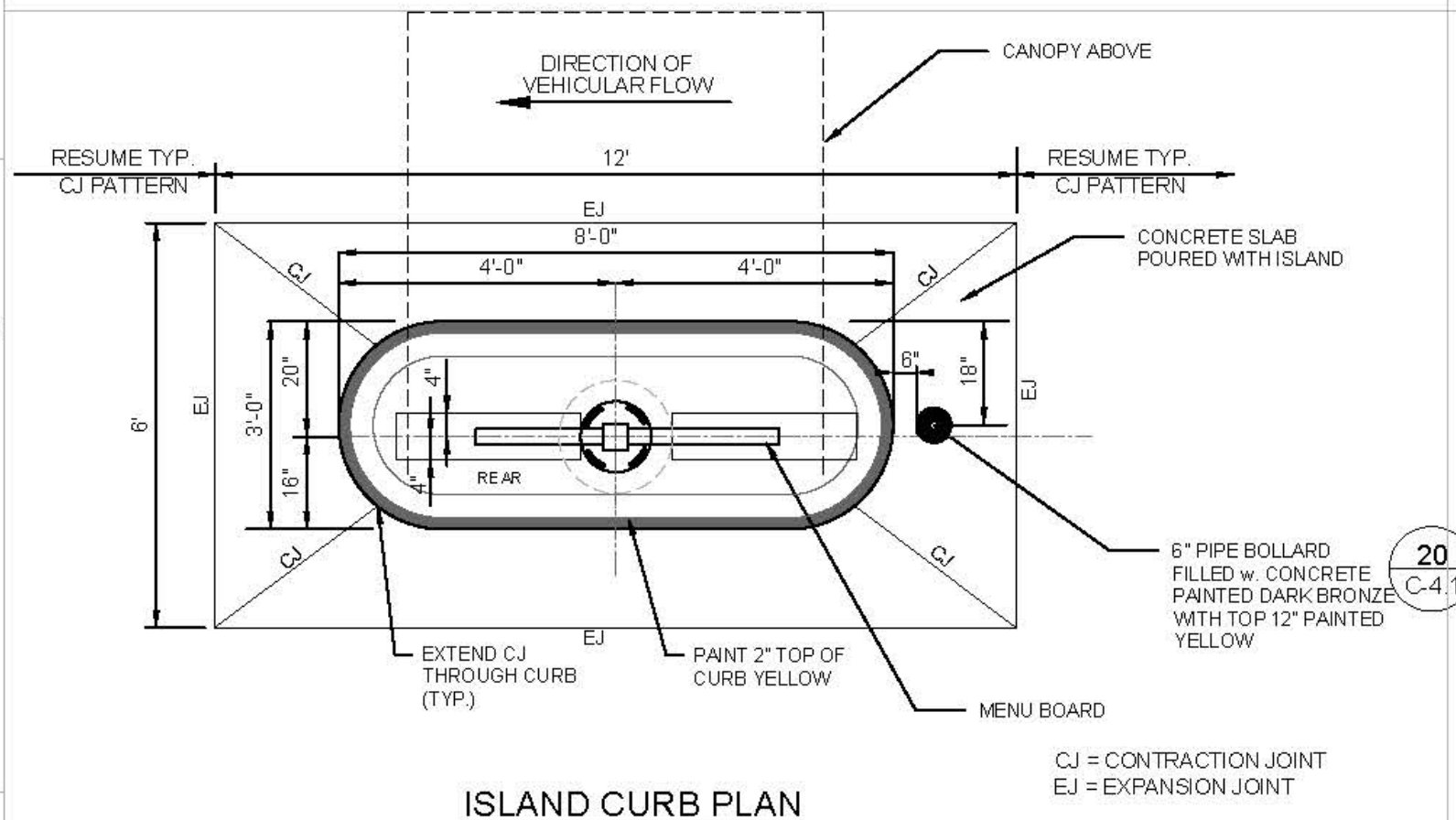
- NOTES:
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

5 C-4.1

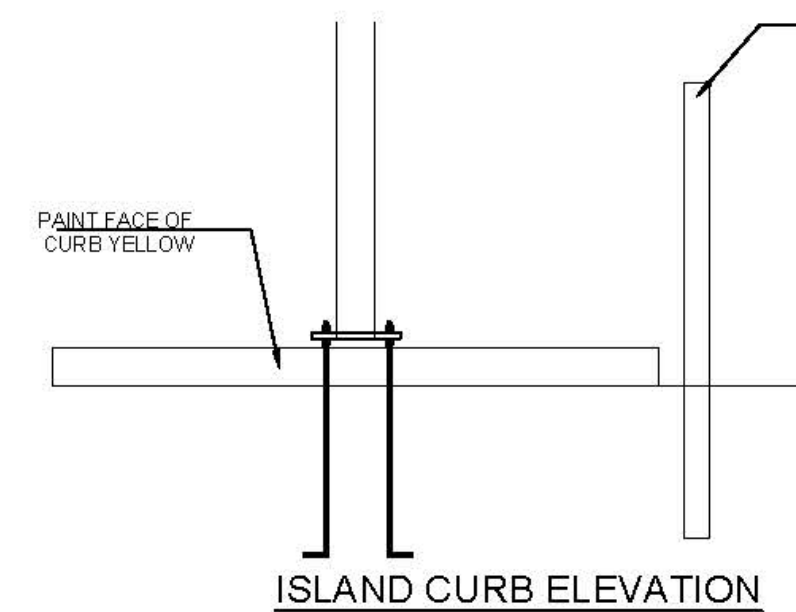


22 C-4.1 TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINT NOT TO SCALE

- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.



ISLAND CURB PLAN

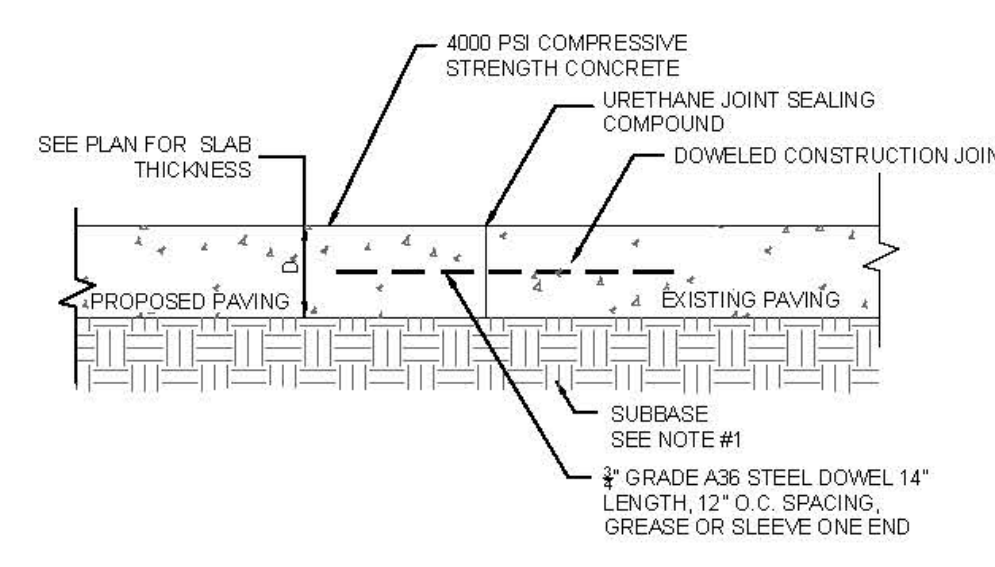


ISLAND CURB ELEVATION

34 C-4.1 DRIVE THRU ORDER POINT ISLAND CURB NOT TO SCALE

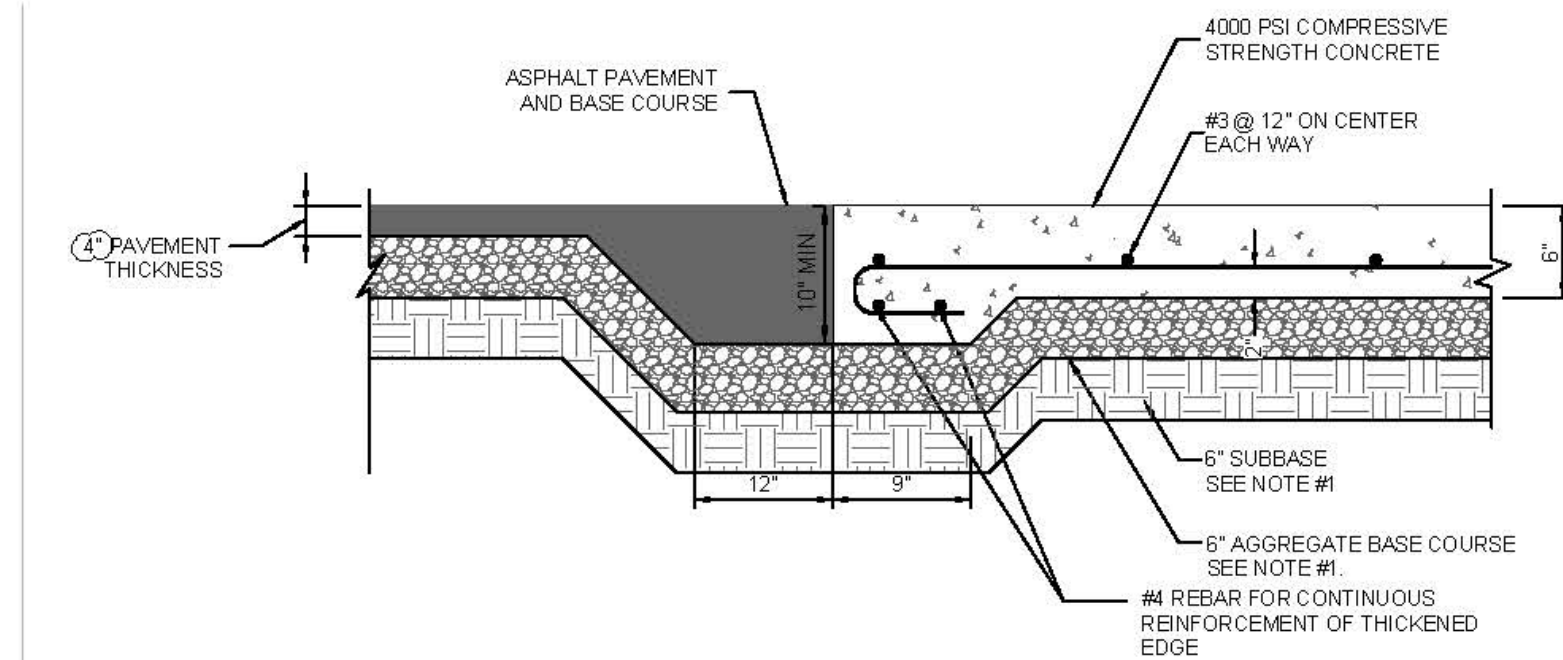
- NOTES:
- REFER TO PARKING LOT STRIPING SPECIFICATION.
 - CROSSWALK ALONG AN ACCESSIBLE ROUTE SHALL MAINTAIN A CROSS-SLOPE OF 1.5% MAX AND A RUNNING SLOPE OF 5% MAX.

5 C-4.1



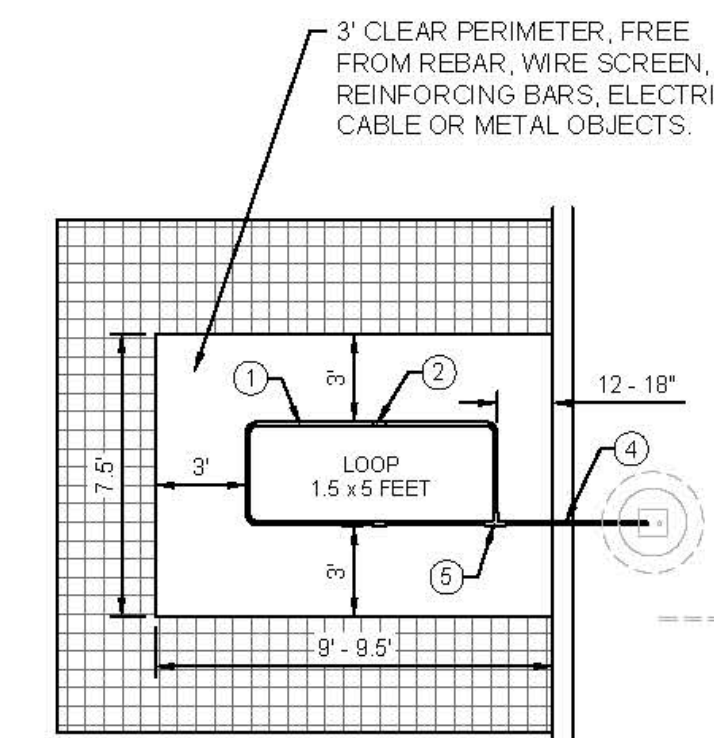
23 C-4.1 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT NOT TO SCALE

- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.

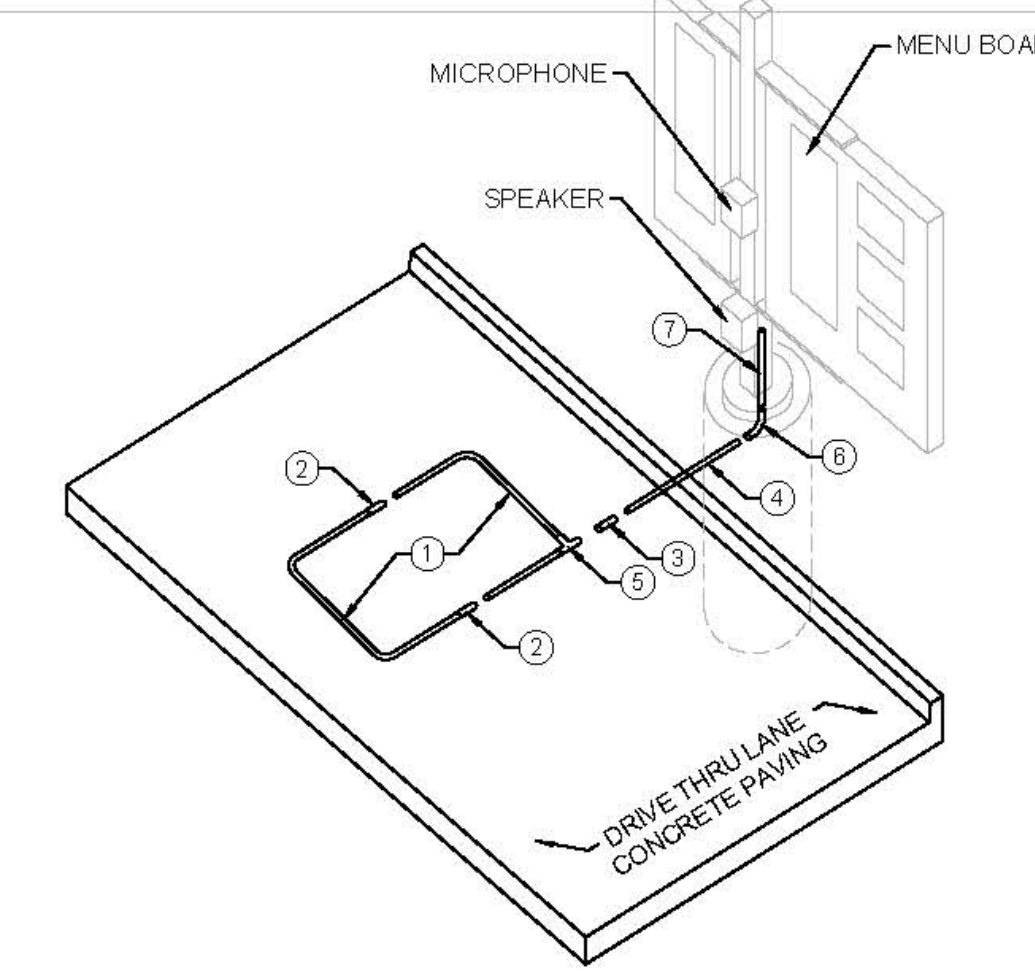


24 C-4.1 CONCRETE APRON @ TRASH ENCLOSURE NOT TO SCALE

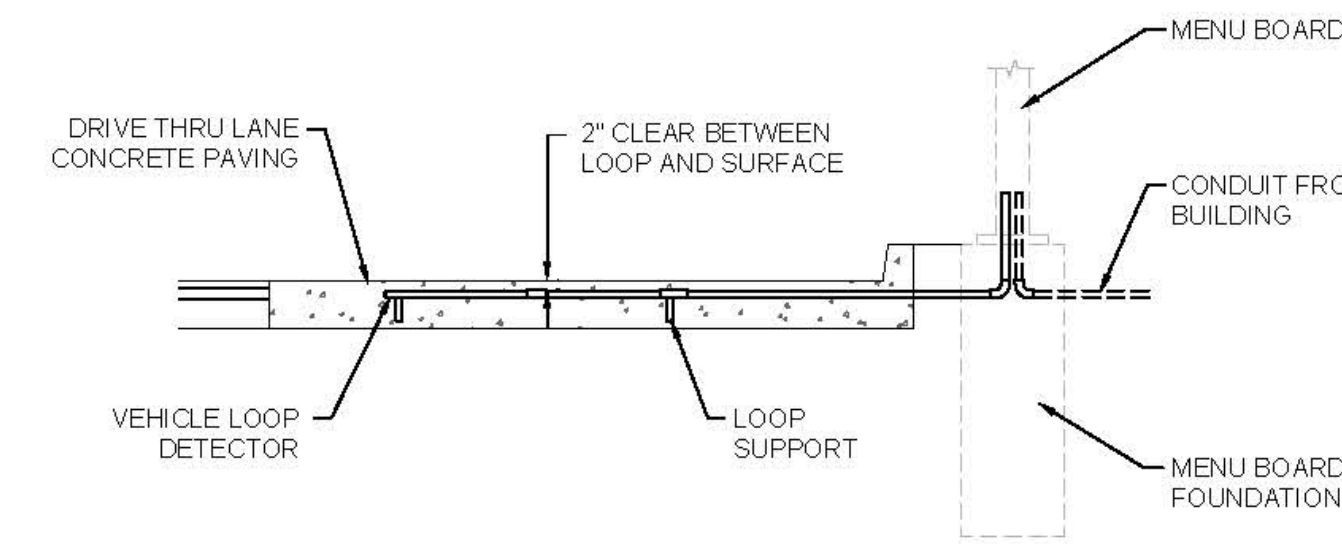
- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED AT THIS TIME.



PLAN VIEW



ISOMETRIC VIEW



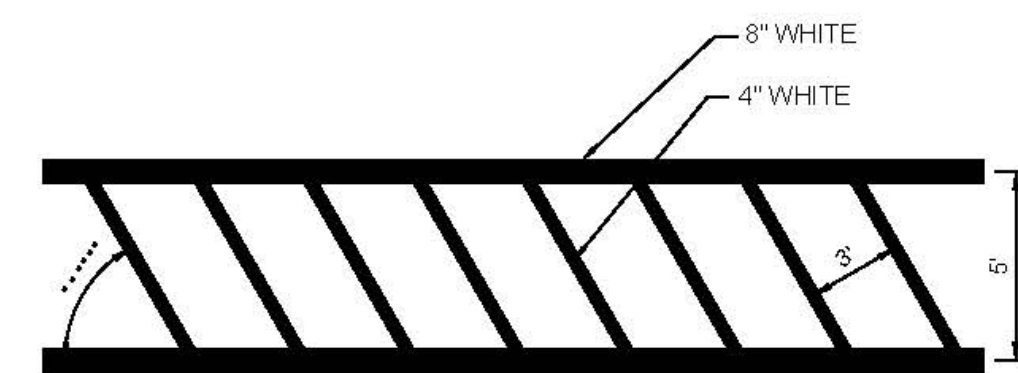
SECTION VIEW

35 C-4.1 MENU BOARD LOOP DETECTION SYSTEM NOT TO SCALE

- NOTES:
- LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

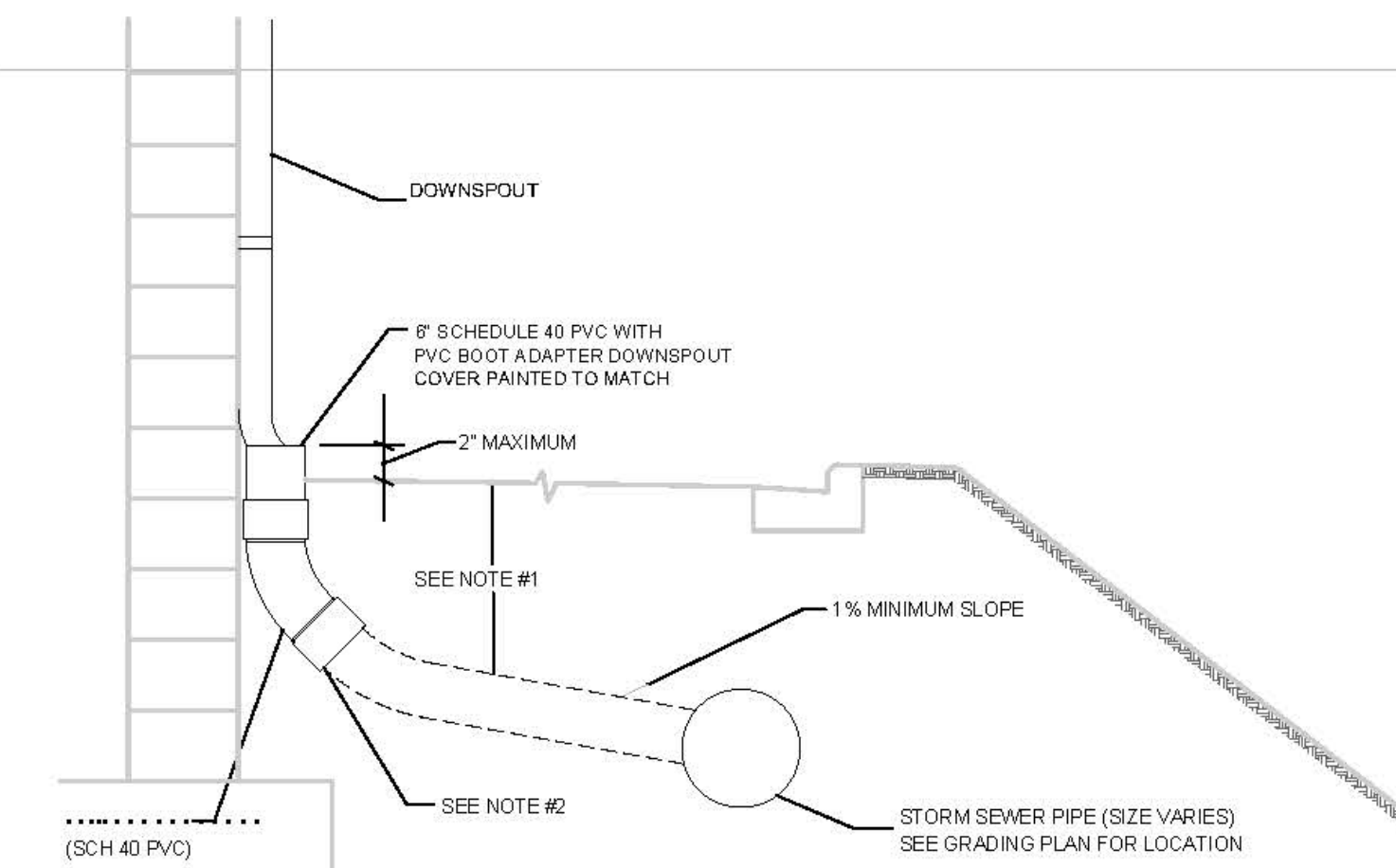
PARTS LIST

- PREFAB (FOLDED) LOOP (1.5' x 5')
- 1/2\"/>



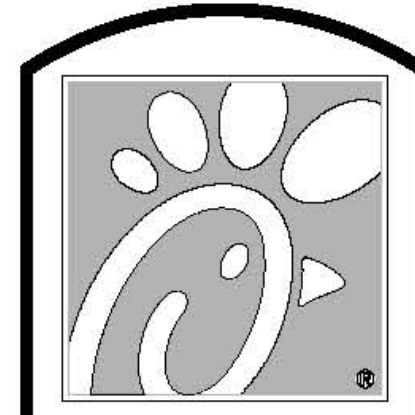
33 C-4.1 CROSSWALK DETAIL NOT TO SCALE

5 C-4.1



38 C-4.1 BUILDING DOWNSPOUT CONNECTION DETAIL NOT TO SCALE

- NOTES:
- FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
 - A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
 - THE DOWNSPOUT COLLECTOR OR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.
 - IF NECESSARY, ADJUST FOOTING TO ALLOW DOWNSPOUT TO BE INSTALLED TIGHT AGAINST BUILDING.



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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CITY SITE APPROVAL



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ENGINEERING
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STORE
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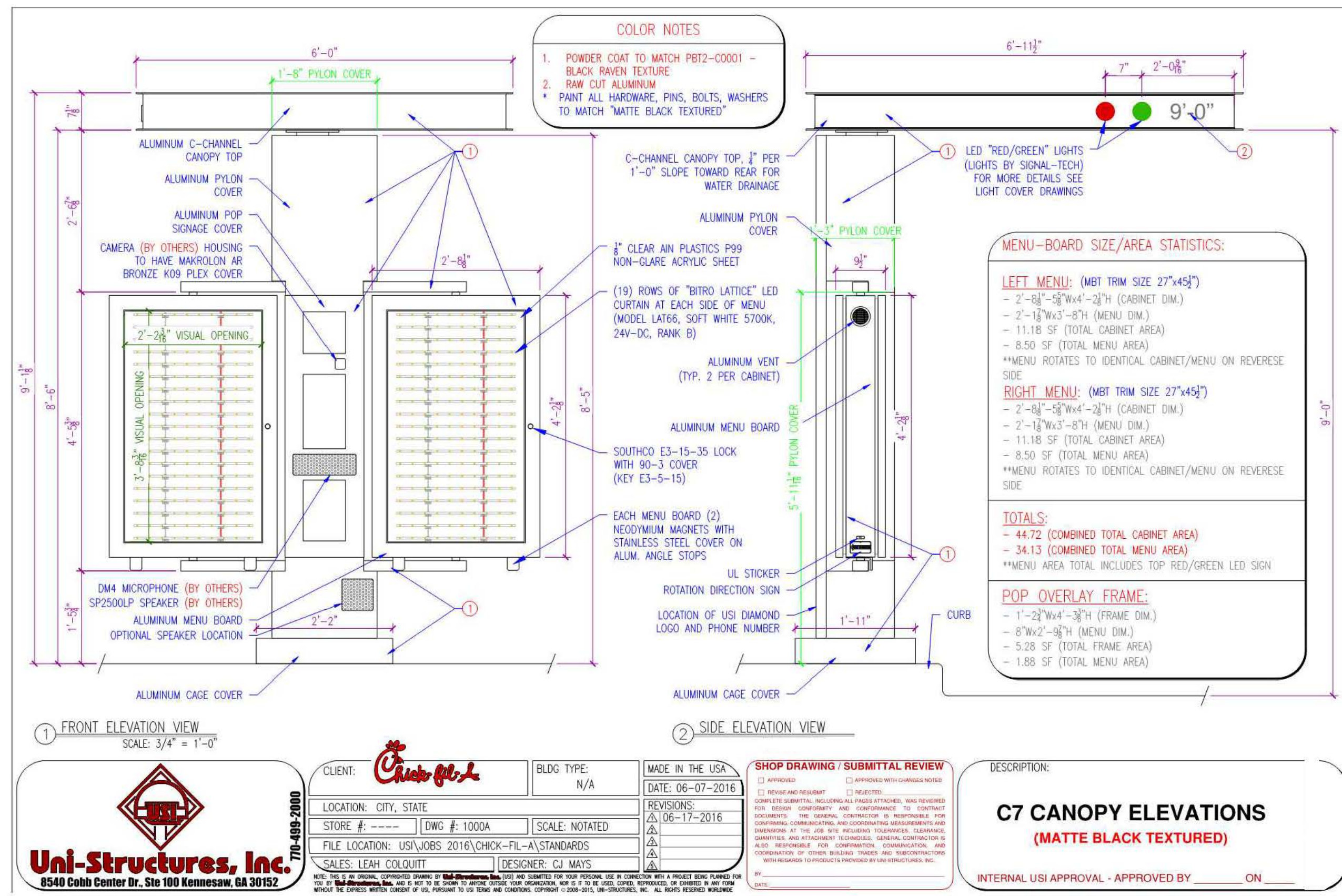
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CHICK-FIL-A
SITE DETAILS

DWG EDITION S97-110
REVISION 04/2017

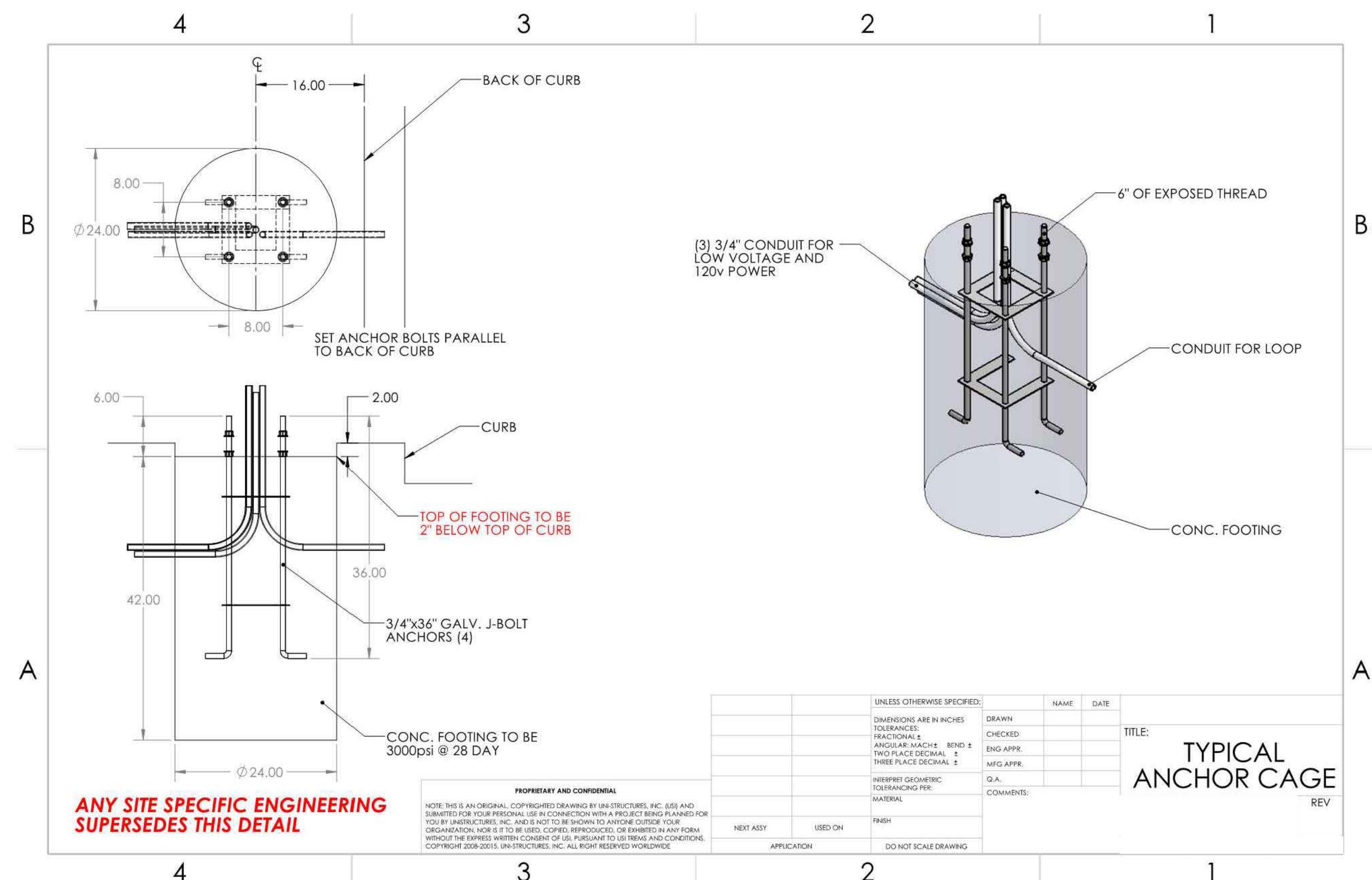
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Store No. : 1425
Date : 7.31.19
Drawn By : CD
Checked By : CD

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C-4.1

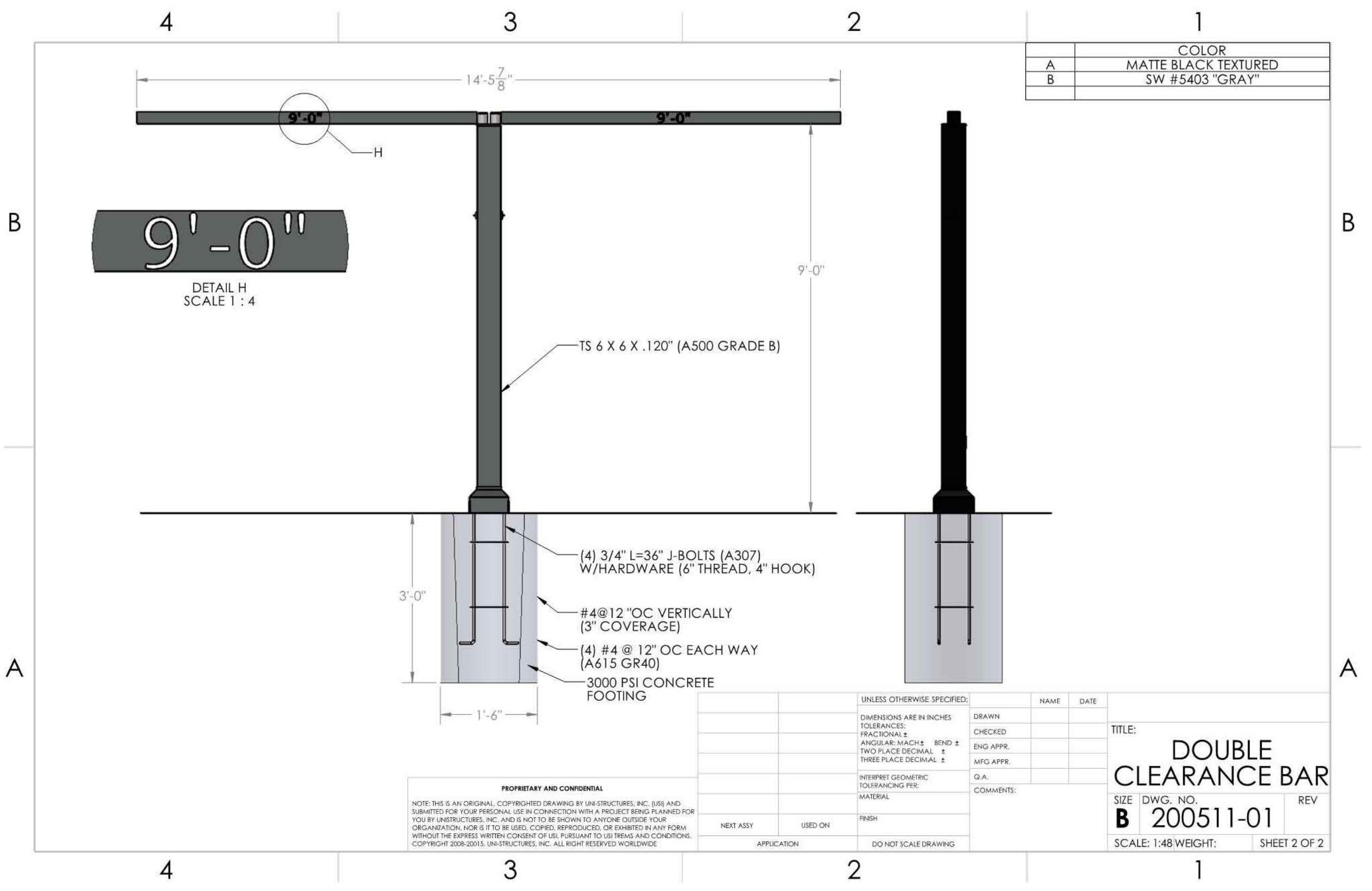
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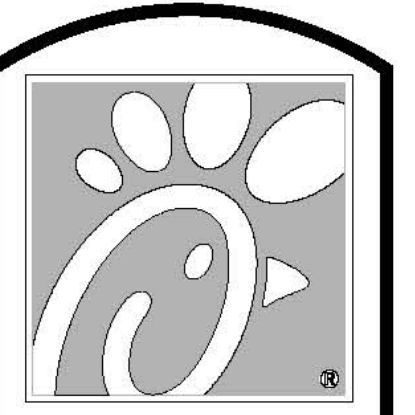
40 MENU BOARD CANOPY ELEVATION DETAIL
C-4.2
NOTE:
1. GENERAL CONTRACTOR TO PROVIDE SITE-SPECIFIC, STAMPED, ENGINEERED SHOP DRAWINGS



42 MENU BOARD CANOPY FOOTING DETAIL
C-4.2
NOTE:
1. GENERAL CONTRACTOR TO PROVIDE SITE-SPECIFIC, STAMPED, ENGINEERED SHOP DRAWINGS



41 DOUBLE CLEARANCE BAR ELEVATION DETAIL
C-4.2
NOTE:
1. GENERAL CONTRACTOR TO PROVIDE SITE-SPECIFIC, STAMPED, ENGINEERED SHOP DRAWINGS



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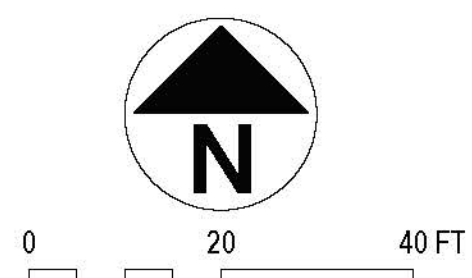
STORE
Oleander FSU
FSR #1425
3389 Oleander Drive
Wilmington, NC
28403

SHEET TITLE
CHICK-FIL-A
SITE DETAILS

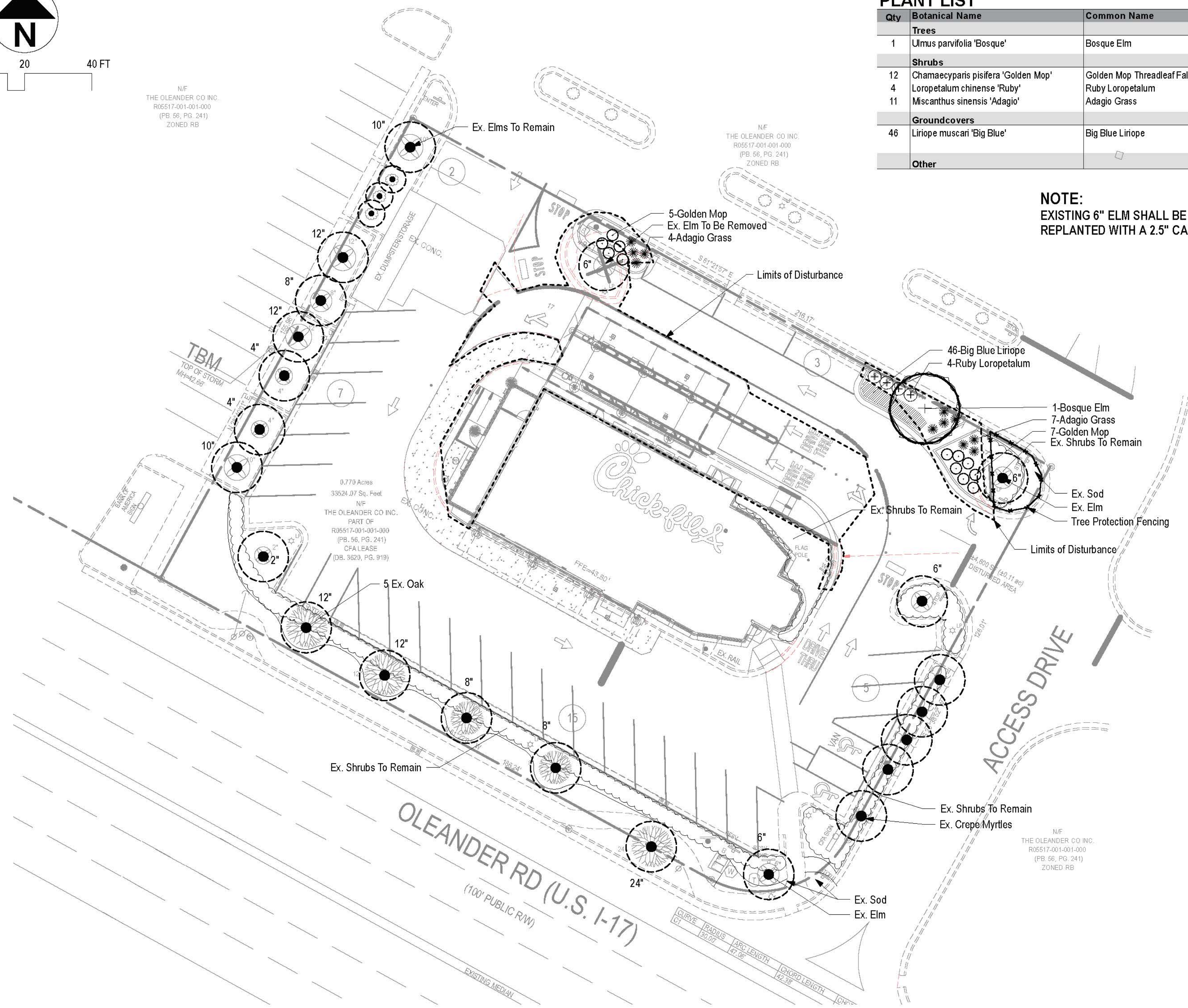
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REVISION 04/2017

Job No. : 19.410
Store No. : 1425
Date : 7.31.19
Drawn By : CD
Checked By : CD

Sheet
C-4.2



NIP
THE OLEANDER CO INC
R05517.001-001-000
(PG. 56, PG. 241)
ZONED RB



PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
1	Ulmus parvifolia 'Bosque'	Bosque Elm	2.5" Cal.	
Shrubs				
12	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf False Cypress	3 Gal.	
4	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal.	
11	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal.	
Groundcovers				
46	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
Other				

NOTE:
EXISTING 6" ELM SHALL BE REMOVED.
REPLANTED WITH A 2.5" CALIPER ELM

LANDSCAPE NOTES (MLOP)

- SOUTHEAST**
- Landscape Contractor to read and understand the Landscape Specifications (sheet L-102) prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging.
 - Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min of 4" clean friable topsoil in all new planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all new parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
 - Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch new annual and perennial beds with 2-3 inch depth of mini nuggets.
 - All new shrubs beds to be mulched with a min. 3 inch layer of mulch (brown double shredded hardwood mulch).
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
 - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
 - Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
 - Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. See Irrigation Plan L-200 for design. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and guying from all trees after one year from planting.



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Seal Redact



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Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

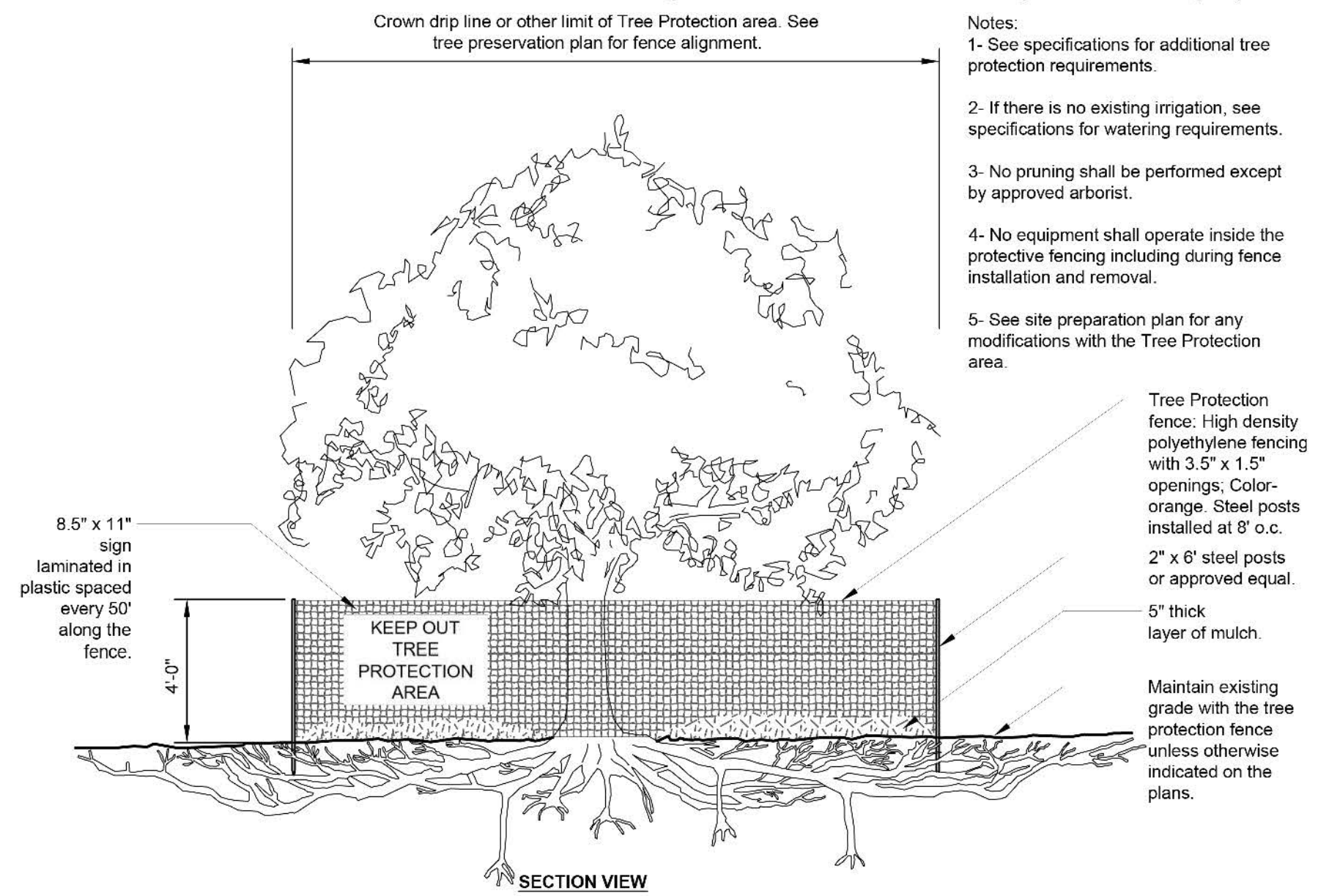
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Wilmington, NC 28403

SHEET TITLE
Landscape Plan

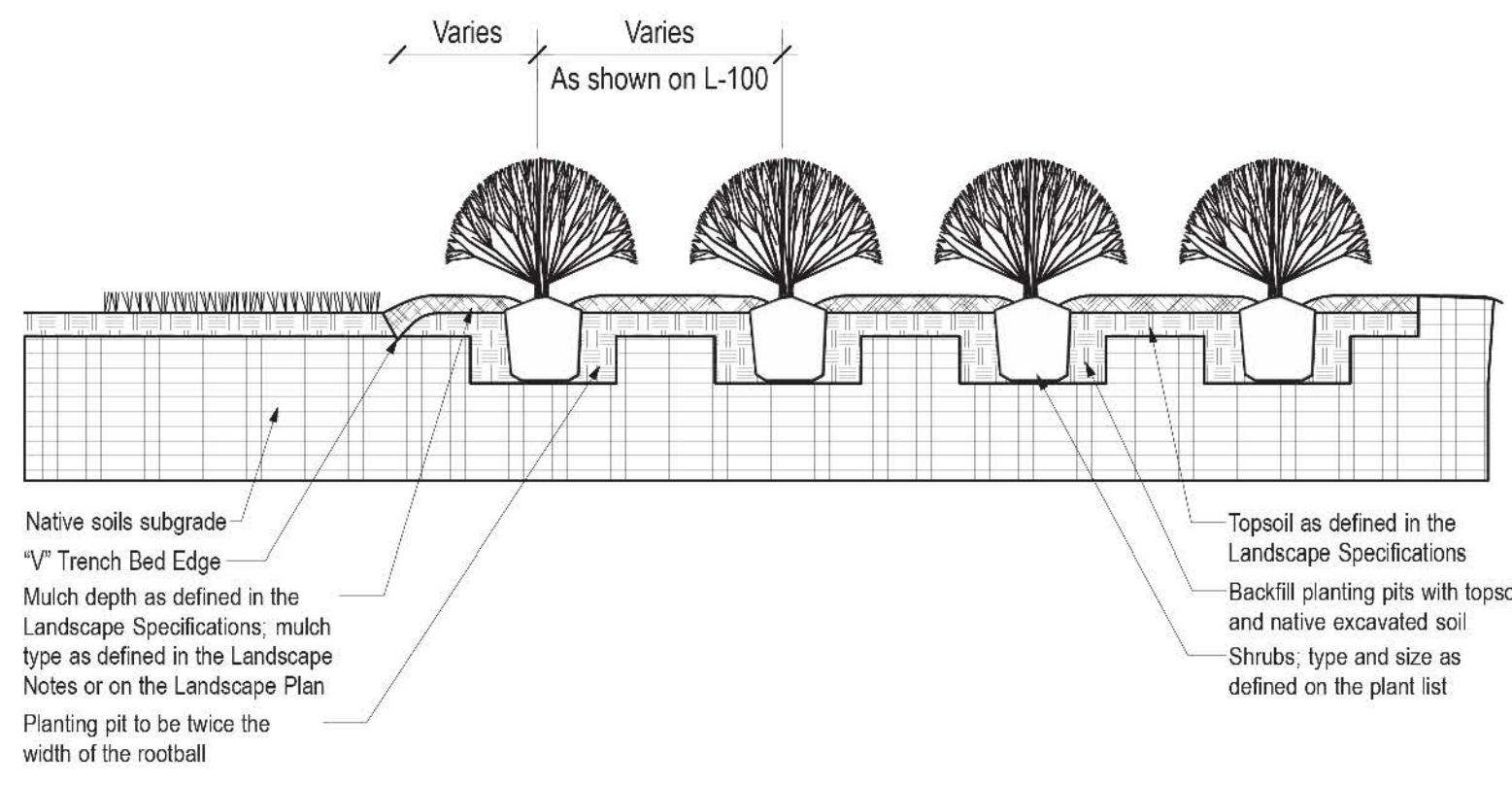
VERSION:
ISSUE DATE:

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Date : 8.12.19
Drawn By : ADN
Checked By:

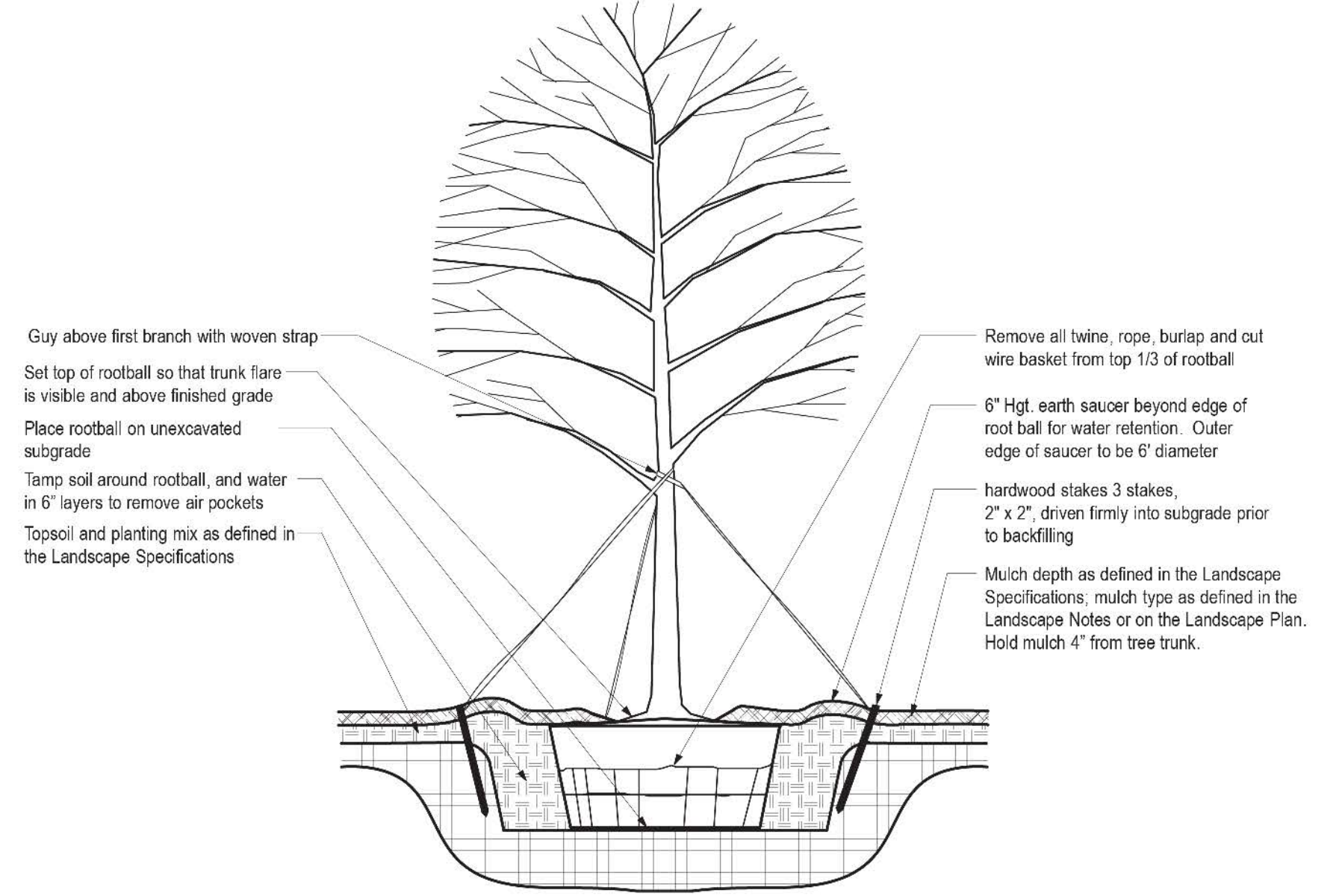
Sheet
L-100



1 TREE PROTECTION FENCING DETAIL
SCALE: NTS



2 SHRUB PLANTING DETAIL
SCALE: NTS



NOTE

- Hole to be twice the width of the rootball.
- Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
- Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
- Remove Guy Wires and Staking when warranty period has expired (after one year).

3 TREE PLANTING AND STAKING DETAIL
SCALE: NTS